



Notice of Meeting and Meeting Agenda
Salt Spring Island Local Community Commission

Thursday, February 19, 2026

9:00 AM

SIMS Boardroom
124 Rainbow Road
Salt Spring Island BC

[MS Team Meeting Link](#)

E. Rook (Chair), G. Holman (Vice Chair), G. Baker, B. Corno, B. Webster

The Capital Regional District strives to be a place where inclusion is paramount and all people are treated with dignity. We pledge to make our meetings a place where all feel welcome and respected.

1. Territorial Acknowledgement

2. Approval of Agenda

3. Adoption of Minutes

3.1. [26-0191](#) Minutes of January 15-29, 2025 Salt Spring Island Local Community Commission

Attachments: [Minutes: January 15, 2026](#)
[Minutes: January 29, 2026 Special Meeting](#)

4. Chair, Director, and Commissioner Reports

5. Senior Manager Report

6. Presentations/Delegations

Delegations will have the option to participate electronically. Please complete the online application for "Addressing the Salt Spring Island Local Community Commission" on our website and staff will respond with details. Requests must be received no later than 4:30 p.m. two calendar days prior to the meeting.

Alternatively, you may email your comments on an agenda item to the Salt Spring Island Local Community Commission (LCC) at saltspring@crd.bc.ca.

6.1. Presentations

6.2. Delegations

- 6.2.1. [26-0225](#) Delegation: Robin Jenkinson; Island Pathways; Re: Agenda Item 7.1.
Salish Sea Trail Network

Attachments: [Delegation Request: Robin Jenkinson Feb. 17, 2026](#)

- 6.2.2. [26-0212](#) Delegation: Peter Meyer; Island Pathways; Re: Agenda Item 7.2.
Vesuvius Bay Terminal Expansion

Attachments: [Delegation Request: Island Pathways, Feb. 12, 2026](#)

7. Commission Business

- 7.1. [26-0226](#) Salish Sea Trail Network

- 7.2. [26-0213](#) Vesuvius Bay Terminal Expansion

- 7.3. [26-0192](#) CRD and SD64 Joint Use Committee Appointment

Attachments: [Staff Report: CRD and SD64 Joint Use Committee Appointment](#)
[Appendix A: Head of Terms Joint-Use Agreement Between the CRD and The B.](#)

- 7.4. [26-0193](#) Grace Point Statutory Right of Way

Attachments: [Staff Report: Grace Point Statutory Right of Way](#)
[Appendix A: Statutory Right of Way, Dated May 31, 1993](#)
[Appendix B: Centennial & Grace Point Boardwalk Structural Assessment, Dated](#)
[Appendix C: Grace Point Strata Letter, Dated February 18, 2025](#)

- 7.5. [26-0194](#) Business License Feasibility Study on Salt Spring Island

Attachments: [Staff Report: Business License Feasibility Study on Salt Spring Island](#)
[Appendix A: Staff Report – Regulation of Vacation Rentals and Business Licens](#)
[Appendix B: Staff Report - Speculation and Vacancy Tax, Dated July 13, 2022](#)

- 7.6. [26-0195](#) Short Term Rentals Stakeholder Roundtable

Attachments: [Staff Report: Short Term Rentals Stakeholder Roundtable](#)
[Appendix A: Outcome Notes from the January 15, 2026 Short-Term Rentals Sta](#)

- 7.7. [26-0196](#) Overview of Facility Agreements, Major Capital Initiatives and Required
Management Resources

Attachments: [Staff Report: Overview of Facility Agreements, Major Capital Initiatives and Req](#)
[Appendix A: Staff Report – Regulation of Vacation Rentals and Business Licens](#)
[Appendix B: Major capital projects > 250k currently planned relating to LCC ser](#)

8. Notice(s) of Motion

- 8.1. [26-0167](#) Motion with Notice: Ganges Speed Limit Advocacy (B. Webster)
- 8.2. [26-0168](#) Motion with Notice: BC Active Transportation Infrastructure Grants Advocacy (B. Webster)
- 8.3. [26-0169](#) Motion with Notice: Harbour Workshop Invitations (G. Holman)
- 8.4. [26-0170](#) Motion with Notice: LCC Strategic Plan Amendment (G. Holman)

9. Motion to Close Meeting

- 9.1. [26-0197](#) Motion to Close Meeting

10. Rise and Report

11. Adjournment

Next Meeting:

*-Thursday, March 12, 2026 at 5:00PM in the Salt Spring Island Multi Space (SIMS)
Boardroom, 124 Rainbow Road, Salt Spring Island, BC V8K 2V5*

Meeting Minutes - Draft

Salt Spring Island Local Community Commission

Thursday, January 15, 2026

9:00 AM

SIMS Boardroom
124 Rainbow Road
Salt Spring Island BC

PRESENT:

COMMISSIONERS: E. Rook, G. Holman (Director), B. Corno, B. Webster,

STAFF: S. Henderson, General Manager, Electoral Area Services; D. Ovington, Senior Manager, SSI Administration; K. Bittorf, Manager, SSI Parks and Recreation; M. Williamson, Committee Clerk, SSI Administration (Recorder)

ABSENT:

COMMISSIONERS: G. Baker

EP- Electronic Participation

These minutes follow the order of the agenda although the sequence may have varied.

The meeting was called to order at 09:01 am.

1. Territorial Acknowledgement

D. Ovington provided a Territorial Acknowledgement.

2. Election of SSI Local Community Commission Chair

The Senior Manager, Salt Spring Island Administration called for nominations for the position of Chair of the Salt Spring Island Local Community Commission for 2026.

Commissioner Webster nominated Commissioner Rook. Commissioner Rook accepted the nomination.

D. Ovington called for nominations a second time.

D. Ovington called for nominations a third time.

Hearing no further nominations, the Senior Manager, Salt Spring Island Administration declared Commissioner Rook Chair of the Salt Spring Island Local Community Commission by acclamation.

3. Election of SSI Local Community Commission Vice-Chair

The Chair called for nominations for the position of Vice Chair of the Salt Spring Island Local Community Commission for 2026.

Commissioner Corno nominated Director Holman. Director Holman accepted the nomination.

Commissioner Rook called for nominations a second time.

Commissioner Rook called for nominations a third time.

Hearing no further nominations, the Chair declared Director Holman Vice Chair of the Salt Spring Island Local Community Commission by acclamation.

4. Approval of Agenda

**MOVED by Commissioner Webster, SECONDED by Director Holman,
That a late delegation R. Williams, Chair of the Ganges Harbourwalk Project
Steering Committee, be permitted to speak.
CARRIED**

**MOVED by Director Holman, SECONDED by Commissioner Webster,
That a late delegation P. Meyers, Island Pathways Partners Creating Pathways,
be permitted to speak.
CARRIED**

**MOVED by Director Holman, SECONDED by Commissioner Corno,
That agenda for the January 15, 2026, meeting of the Local Community
Commission be approved as amended with the following amendments:
-addition of agenda item 9.a. Ganges Harbourwalk Project
-addition of agenda item 9.b. Swanson Rd/Lakeview Crescent Pathway Project
-addition of agenda item 8.2.1. Delegation: Robin Williams, Ganges Harbourwalk
Project Steering Committee Re: Agenda Item 9.a. Ganges Harbourwalk Project
-addition of agenda item 8.2.2. Delegation: Peter Meyers, Island Pathways
Partners Creating Pathways Re: Agenda Item 9.b. Swanson Rd/Lakeview
Crescent Pathway Project
CARRIED**

5. Adoption of Minutes

5.1. Minutes of December 11, 2025 Salt Spring Island Local Community
Commission

**MOVED by Commissioner Webster, SECONDED by Director Holman,
That the minutes of the December 11, 2025 meeting be adopted as circulated.
CARRIED**

6. Chair, Director, and Commissioner Reports

Commissioner Webster spoke regarding the review of Clean BC Program.

Commissioner Corno spoke regarding public awareness of CRD services on SSI.

Director Holman spoke regarding:

- SSI Transit Max Levy Bylaw
- SSI Regional Trail referral to Transportation Committee
- CRD reviewing coordinating homeless services in the region
- Notice of motion to the CRD Board regarding regional equity
- Building permits process and fee changes
- CRD greenhouse gas emissions tracking annual update
- Phoenix lease renewal and licence agreement user

Commissioner Rook spoke regarding:

- Southern Gulf Island Forum meeting
- Registration requirements for boats

7. Senior Manager Report

D. Ovington provided information regarding:

- MOTT flexible reflector installation multi year project, portion allocated annually
- 2025 staffing hiring and vacancies update

S. Henderson spoke regarding:

- Building inspection bylaw

8. Presentations/Delegations

8.1. Presentations

There were no presentations

8.2. Delegations

8.2.1. Delegation: Robin Williams, Ganges Harbourwalk Project Steering Committee Re: Agenda Item 9.a. Ganges Harbourwalk Project

R. Williams spoke to item 9.a.

8.2.2. Delegation: Peter Meyers, Island Pathways Partners Creating Pathways Re: Agenda Item 9.b. Swanson Rd/Lakeview Crescent Pathway Project

P. Meyers spoke to item 9.b.

9. Commission Business

9.1.a. Ganges Harbourwalk Project

There was no discussion of this agenda item.

9.1.b. Swanson Rd/Lakeview Crescent Pathway Project

There was no discussion of this agenda item.

9.1. Project Tracker Quarterly No. 21, 2025

The report was received for information.

Discussion ensued regarding progress with ongoing projects under SSI Administration.

9.2. Motion Tracker Quarterly

The report was received for information.

Discussion ensued regarding progress of acting on motions.

9.3. Baker Public Beach Access Information Panels

**MOVED by Commissioner Webster SECONDED by Director Holman,
That the Salt Spring Island Local Community Commission postpone
consideration of Baker Beach access information panels project until the legal
dispute has been resolved.
CARRIED**

9.4. Process to Establish a Sister City Between Salt Spring Island and Orca Island

The report was received for information.

10. Notice(s) of Motion

10.1. Motion with Notice: SSI Foundation Meeting (G. Baker)

MOVED by Commissioner Baker, **SECONDED** by Commissioner Corno,
That the Salt Spring Island Local Community Commission requests that staff
arrange a meeting involving the Salt Spring Island Foundation, CRD staff and
two representatives of the Salt Spring Island Local Community Commission in
the near future.

MOVED by Commissioner Corno, **SECONDED** by Commissioner Webster,
That the Motion with Notice be Withdrawn.
CARRIED

That the Salt Spring Island Local Community Commission requests that staff
arrange a meeting involving the Salt Spring Island Foundation, CRD staff and
two representatives of the Salt Spring Island Local Community Commission in
the near future.
WITHDRAWN

10.2. Motion with Notice: SSI Chamber of Commerce Meeting (B. Webster)

MOVED by Commissioner Webster, **SECONDED** by Director Holman,
That the Salt Spring Island Local Community Commission request that
representatives of the Salt Spring Island Chamber of Commerce meet with the
Electoral Area Director, one other LCC commissioner and a staff representative to
discuss:
-The potential for establishing a Business Improvement Area on Salt Spring
Island
-The ongoing working relationship between the LCC and the Chamber
CARRIED

MOVED by Commissioner Corno, **SECONDED** by Director Holman,
That the Salt Spring Island Local Community Commission (LCC) appoints
Commissioner Webster to attend the meeting with Salt Spring Island Chamber of
Commerce.
CARRIED

10.3. Notice of Motion: Ganges Speed Limit Advocacy (B. Webster)

Commissioner Webster proposed the following Notice of Motion for
consideration at a future meeting:

“That the Salt Spring Island Local Community Commission request that the
Capital Regional District Board write to the Ministry of Transportation and
Transit requesting that the ministry institute a 30 km/h speed limit throughout
the Ganges core, including:

- Rainbow Road from Lower Ganges Road to the Rainbow Recreation Centre
- Jackson Avenue
- Hereford Avenue
- McPhillips Avenue
- Seaview Avenue”

10.4. Notice of Motion: BC Active Transportation Infrastructure Grants Advocacy (B. Webster)

Commissioner Webster proposed the following Notice of Motion for consideration at a future meeting:

“That the Salt Spring Island Local Community Commission request that the Capital Regional District Board write to the Government of British Columbia requesting the resumption of the BC Active Transportation Infrastructure Grants Program in 2026.”

10.5. Notice of Motion: Harbour Workshop Invitations (G. Holman)

Director Holman proposed the following Notice of Motion for consideration at a future meeting:

“That the next Salt Spring Island Local Community Commission workshop regarding harbour management invite representatives of the Province and Transport Canada to discuss their role.”

10.6. Notice of Motion: LCC Strategic Plan Amendment (G. Holman)

Director Holman proposed the following Notice of Motion for consideration at a future meeting:

“That the Salt Spring Island Local Community Commission Strategic Plan be amended to include a goal regarding improving public consultation on annual budgets.”

11. Motion to Close Meeting

11.1 Motion to Close Meeting

MOVED by Director Holman, **SECONDED** by Commissioner Corno,
That the meeting be closed for Proposed Service and Contract Negotiations in
accordance with Section 90(1)(k) of the Community Charter. [2 Items]
CARRIED

MOVED by Director Holman, **SECONDED** by Commissioner Webster,
That such disclosures could reasonably be expected to harm the interests of the
Regional District. [1 Items]
CARRIED

MOVED by Commissioner Corno, **SECONDED** by Commissioner Webster,
That such disclosures could reasonably be expected to harm the interests of the
Regional District. [1 Items]
CARRIED

The Salt Spring Island Local Community Commission moved to the closed
session at 11:02pm.

MOVED by Director Holman, **SECONDED** by Commissioner Corno,
That the meeting be extended past the 3-hour scheduled time.
CARRIED

The Salt Spring Island Local Community Commission rose from its closed
session at 12:24pm without report.

12. Adjournment

MOVED by Director Holman, **SECONDED** by Commissioner Webster,
That the Salt Spring Island Local Community Commission adjourn the meeting at
12:24pm.
CARRIED

CHAIR

SENIOR MANAGER

Meeting Minutes - Draft

Salt Spring Island Local Community Commission

Thursday, January 29, 2026

9:00 AM

SIMS Boardroom
124 Rainbow Road
Salt Spring Island BC

Special Meeting- Budget

PRESENT:

COMMISSIONERS: E. Rook (Chair) G. Holman (Director), G. Baker, B. Corno, B. Webster (EP),

STAFF: S. Henderson, General Manager, Electoral Area Services (EP); D. Ovington, Senior Manager, SSI Administration; K. Bittorf, Manager, SSI Parks and Recreation; C. Hopp, Manager SSI Engineering, SSI Administration (EP); L. Xu, Manager, Local Area Services, Finance Services; K. Vincent, Senior Financial Advisor, Finance Services (EP); A. Elliyoon, Financial Analyst, Finance Services (EP); M. Williamson, Committee Clerk, SSI Administration (Recorder)

EP- Electronic Participation

These minutes follow the order of the agenda although the sequence may have varied.

The meeting was called to order at 09:03 am.

1. Territorial Acknowledgement

Commissioner Rook provided a Territorial Acknowledgement

2. Approval of Agenda

**MOVED by Commissioner Webster, SECONDED by Commissioner Corno,
That agenda for the January 29, 2026, meeting of the Local Community
Commission be approved as amended with the addition of agenda item 4.6. SSI
Regional Trail Update.
CARRIED**

3. Presentations/Delegations

There were no presentations or delegations.

4. Special Meeting Matters

4.1. Combined Parks, Arts, Recreation and Swimming Facility Services of the Salt Spring Island Electoral Area

This report was received for information.

4.2. Salt Spring Island Local Community Commission Governance Training

MOVED by Commissioner Webster, SECONDED by Commissioner Corno, The Salt Spring Island Local Community Commission recommends to the Salt Spring Island Electoral Area Director that staff plan a Hybrid Governance Training Program (Option 3) for the fall of 2026 and allocate \$5,000 to support this training in the 1.111 Salt Spring Island Administration budget funded by requisition as a one-time expense in 2026.

CARRIED

4.3. Ganges Fire Hall Operating Funding

This report was received for information.

4.4. Salt Spring Island Grants-In-Aid Donation Letter

This report was received for information.

The Commission recessed at 10:04 pm.

The Commission reconvened at 10:09 pm.

4.5. 2026 SSI Local Community Commission Final Budgets

MOVED by Director Holman, **SECONDED** by Commissioner Baker,
That the Salt Spring Island Local Community Commission recommends that staff amend the 1.116 SSI Grant in Aid Five Year Financial Plan 2026-2030 by reducing funding for Grant in Aid by \$10,000 from \$90,050 to \$80,050 and reducing the requisition by \$10,000 from \$75,960 to \$65,960 as one-time reduction for year 2026.
DEFEATED
OPPOSED Corno, Rook, Webster

MOVED by Director Holman, **SECONDED** by Commissioner Corno,
That the Salt Spring Island Local Community Commission recommends that staff amend the 1.124 SSI Economic Development Five Year Financial Plan 2026-2030 by reducing funding for Project Costs by \$10,000 from \$71,716 to \$61,716 and reducing the requisition by \$10,000 from \$85,672 to \$75,672 as one-time reduction for year 2026.
DEFEATED
OPPOSED Corno, Baker, Rook, Webster

MOVED by Commissioner Webster, **SECONDED** by Commissioner Corno,
That the Salt Spring Island Local Community Commission recommends that staff amend 1.141 SSI Public Library by decreasing the Contribution to Library by \$29,868 from \$657,100 to \$627,232 and increasing the transfer to the capital reserve fund by \$29,868 from \$94,260 to \$124,128 as a one time change in 2027.

MOVED by Director Holman, **SECONDED** by Commissioner Baker,
That consideration of this motion be postponed until 2027 provisional budget Salt Spring Island Local Community Commission review meeting on May 14, 2026.
CARRIED
OPPOSED Corno, Webster

MOVED by Commissioner Webster, **SECONDED** by Commissioner Baker,
That the Salt Spring Island Local Community Commission recommends that staff amend 1.234 SSI Street Lighting Five Year Financial Plan 2026-2030 by increasing the Transfer to Operating Reserve Fund from \$0 to \$350 and increasing the requisition by \$350 from \$34,004 to \$34,354 as a one time increase in 2026.
CARRIED
OPPOSED Holman, Rook

MOVED by Director Holman, **SECONDED** by Commissioner Baker,
That the Salt Spring Island Local Community Commission recommends that staff amend the 1.236 SSI Small Craft Harbour (Fernwood Dock) Five Year Financial Plan 2026-2030 by reducing Transfers to Capital Reserves by \$8,000 from \$9,000 to \$1,000 and reducing the requisition by \$8,000 from \$27,677 to \$19,677 as one-time reduction for year 2026.
CARRIED
OPPOSED Webster

MOVED by Director Holman, **SECONDED** by Commissioner Baker,
That the meeting be extended past the 3-hour scheduled time.
CARRIED

The Commission recessed at 12:58 pm.

The Commission reconvened at 12:36 pm.

MOVED by Director Holman, **SECONDED** by Commissioner Baker,
That the Salt Spring Island Local Community Commission recommends that staff
amend the 1.238A Community Transit Five Year Financial Plan 2026-2030 by:

1. Reducing Transfers to Capital Reserves by \$10,000 from \$23,000 to \$13,000 and reducing the requisition by \$10,000 from \$506,500 to \$496,500 as a one time decrease in 2026.
2. Reducing the reserve funding for project 23-01 (Bus Shelter- Cusheon & Ganges/Fulford road) by \$20,000 from \$30,000 to \$10,000 and add \$20,000 Community Works Funding grant funding for project 23-01 in 2026

CARRIED

OPPOSED Corno, Webster

MOVED by Commissioner Webster, **SECONDED** by Commissioner Corno,
That the Salt Spring Island Local Community Commission recommends that staff
amend the 1.238A Community Transit Five Year Financial Plan 2026-2030 by
reducing Referendum Costs for Service Expansion from \$30,000 to \$0.

DEFEATED

OPPOSED Baker, Corno, Holman, Rook

MOVED by Director Holman, **SECONDED** by Commissioner Baker,
That the Salt Spring Island Local Community Commission recommends that staff
amend the 1.238B Community Transportation Five Year Financial Plan 2026-2030
by:

1. Reducing Transfers to Capital Reserves by \$10,000 from \$20,000 to \$10,000 and Transfers to Operating Reserves by \$5,000 from \$5,000 to \$0 and
2. Reducing the requisition by \$15,000 from \$77,789 to \$62,789 as a one time decrease in 2026.

CARRIED

OPPOSED Corno, Webster

MOVED by Director Holman, **SECONDED** by Commissioner Baker,
That the Salt Spring Island Local Community Commission recommends that staff
amend the 1.459 SSI Parks and Rec Five Year Financial Plan 2026-2030 by
increasing project 26-12 (Phoenix Upgrades Project) from \$5,000 to \$30,000
funded by \$25,000 of CWF in 2026.

CARRIED

MOVED by Commissioner Webster, **SECONDED** by Commissioner Corno,
That the Salt Spring Island Local Community Commission recommends that staff
amend the 1.459 SSI Parks and Rec Five Year Financial Plan 2026-2030 by
increasing project 26-08 (Tennis Court Resurfacing) from \$55,000 to \$105,000
funded by \$50,000 donation in 2026.

CARRIED

MOVED by Director Holman, **SECONDED** by Commissioner Corno,
That the Salt Spring Island Local Community Commission recommends staff
amend the 1.459 SSI Parks and Recreation Five Year Financial Plan 2026-2030
by:

1. Reducing Transfers to Capital Reserves by \$10,000 from \$158,000 to \$148,000 and reducing Transfers to Equipment Replacement by \$10,000 from \$106,000 to \$96,000 and
2. Reducing the requisition by \$20,000 from \$3,179,695 to \$3,159,695 as a one time reduction in 2026

CARRIED

OPPOSED Corno, Webster

MOVED by Director Holman, **SECONDED** by Commissioner Baker,
That the Salt Spring Island Local Community Commission recommends that staff amend the 3.705 SSI Liquid Waste Disposal Five Year Financial Plan 2026-2030 by reducing Transfers to Capital Reserves by \$10,000 from \$46,310 to \$36,310 and reducing the requisition by \$10,000 from \$426,491 to \$416,491 as a one time reduction in 2026.

CARRIED

OPPOSED Corno, Webster

MOVED by Director Holman, **SECONDED** by Commissioner Baker,
That the Local Community Commission recommends to the Capital Regional District Board: That the Salt Spring Island 2026-2030 Local Community Commission's 14 service budgets be approved with specific amendments.

CARRIED

OPPOSED Webster

MOVED by Commissioner Webster, **SECONDED** by Commissioner Corno,
That the Salt Spring Island Local Community Commission request that staff establish operating reserve funds for the following services:

- 1.116 SSI Grants-in-Aid
- 1.142 SSI Public Library
- 1.378 Search & Rescue

CARRIED

SSI Regional Trail Update

Discussion ensued regarding the Salt Spring Island Regional Trail discussion from the January 28, 2026 Transportation Committee meeting.

5. Adjournment

MOVED by Director Holman, **SECONDED** by Commissioner Corno,
That the Local Community Commission adjourn the meeting at 03:18pm.

CARRIED

CHAIR

SENIOR MANAGER

From: Capital Regional District <noreply@crd.bc.ca>

Sent: Tuesday, February 17, 2026 9:48 AM

To: Legserv <Legserv@crd.bc.ca>

Subject: New Submission from Addressing the CRD Board & Committees webform - Submission #107 SID #52662

Submitted on Tue, 02/17/2026 - 9:48am

Submitted by: Anonymous

Submitted values are:

Name

Robin Jenkinson

I represent

Island Pathways - Salish Sea Trail Network

Telephone

[REDACTED]

Email address

[REDACTED]

Street Address (optional)

[REDACTED]

Municipality/Electoral Area in which you reside

[Salt Spring Island](#)

I wish to address

[Salt Spring Island Local Community Commission](#)

Meeting Date

2026-02-19

Agenda Item

Agenda Item 8.2 (Active Transportation Infrastructure Grants Program)

My reason(s) for appearing (is/are) and the substance of my presentation is as follows:

Our reasons for appearing are to support the recommendation that the Salt Spring Island Local Community Commission request the Capital Regional District Board write to the Government of British Columbia advocating for the resumption of the BC Active Transportation Infrastructure Grants Program.

This presentation will explain how the Salish Sea Trail on Salt Spring Island represents a regionally significant, shovel-ready active transportation corridor that has already advanced through planning, engineering review, and public engagement using previous provincial funding. We will outline how the program directly enabled progress and how its return would allow immediate implementation of safety improvements, ferry-connected transportation access, climate emission reductions, and rural mobility

options for residents and visitors.

We will emphasize that rural communities cannot realistically build corridor-scale transportation infrastructure without provincial partnership, and that Salt Spring Island provides a strong model demonstrating the tangible outcomes the program was designed to achieve.

Website reference: <https://islandpathways.ca/salish-sea-trail/>

I will attend the meeting

In person

I will have a PowerPoint or video presentation and will submit it at least 24 hours in advance of the meeting.

Yes

I understand

Yes

From: Capital Regional District <noreply@crd.bc.ca>

Sent: Thursday, February 12, 2026 2:43 PM

To: Legserv <Legserv@crd.bc.ca>

Subject: New Submission from Addressing the CRD Board & Committees webform - Submission #97 SID #52596

Submitted on Thu, 02/12/2026 - 2:43pm

Submitted by: Anonymous

Submitted values are:

Name

Peter Meyer

I represent

Island Pathways/Partners Creating Pathways

Telephone

[REDACTED]

Email address

[REDACTED]

Street Address (optional)

[REDACTED]

Municipality/Electoral Area in which you reside

[Salt Spring Island](#)

I wish to address

[Salt Spring Island Local Community Commission](#)

Meeting Date

2026-02-19

Agenda Item

BC Ferries Vesuvius Bay Terminal Expansion

My reason(s) for appearing (is/are) and the substance of my presentation is as follows:

BC Ferries Vesuvius Bay Ferry Terminal expansion will impact the Margaret Ave trail as it terminates in the parking lot. We hope to have the LCC/CRD engage with BC Ferries to request a design that recognises and incorporates the trail terminus into their plans. This important community trail provides access and an emergency evacuation route for those living on Margaret Ave.

I will attend the meeting

In person

I will have a PowerPoint or video presentation and will submit it at least 24 hours in advance of the meeting.

Yes

I understand

Yes



Making a difference...together

**REPORT TO SALT SPRING ISLAND LOCAL COMMUNITY COMMISSION
MEETING OF THURSDAY, FEBRUARY 19, 2026**

SUBJECT **CRD and SD64 Joint Use Committee Appointment**

ISSUE SUMMARY

To appointment of a member of the LCC to serve on a Joint Use Committee between the CRD and SD64.

BACKGROUND

The Capital Regional District (CRD) under the delegated authority of the Salt Spring Island (SSI) Local Community Commission (LCC) through its SSI Parks and Recreation Service has a long-standing, collaborative relationship with the Gulf Island School District 64 (SD64) to provide community recreation and education services to residents of SSI. Since 1991 the CRD has maintained a joint-use agreement to facilitate mutual use of public recreation in school facilities and SSI Parks and Recreation facilities.

At the July 10, 2025, meeting of the SSI LCC the following motion was passed.

“That the Salt Spring Island Local Community Commission (LCC):

- 1. Appoint one member of the LCC to serve on the Joint Use Committee identified in the 2021 Joint-Use Agreement Between the Capital Regional District and the Board of Trustees of School District No. 64 (Gulf Islands).*
- 2. Request that the Joint Use Committee meet once the new SSI Parks and Recreation Manager is hired and plan to meet at least twice yearly thereafter.*
- 3. Request that the Joint Use Committee review and recommend appropriate revisions to the 2021 Joint-Use Agreement Between the Capital Regional District and the Board of Trustees of School District No. 64 (Gulf Islands).*
- 4. Request that the Joint Use Committee review all current agreements between Gulf Islands School District and the LCC and provide recommendations on how best to manage these and any new agreements that might be entered into in the future.”*

CRD staff have met with staff from SD64 to discuss the establishment of a Joint Use Committee, and SD64 staff have expressed support for moving forward with this initiative. Initially the committee mandate would be specific to the Joint-Use agreement and would be focused on the renewal of the Joint Use agreement. Further discussion would need to occur at the committee level to address the LCC’s request to review all current agreements.

As part of forming the committee, it will be necessary for the SSI LCC to appoint one of its members to serve as the LCC representative, ensuring that commission interests are directly reflected in the review and renewal of this agreement. Tentative plans are underway to convene the first meeting prior to June 2026, with a goal to review and update the existing Joint-Use Agreement by September. The current agreement expires at the beginning of March 2026, and we are working on a six-month agreement extension to allow time for this committee to form.

ALTERNATIVES

Alternative 1

The Salt Spring Island Local Community Commission (LCC) appoints the Chair of the LCC to serve on a Joint Use Committee as identified in the 2021 Joint-Use Agreement between the Capital Regional District and Board of Trustees of School District No.64.

Alternative 2

The Salt Spring Island Local Community Commission (LCC) appoints an alternate Commissioner to serve on a Joint Use Committee as identified in the 2021 Joint-Use Agreement between the Capital Regional District and Board of Trustees of School District No.64.

Alternative 3

The Salt Spring Island Local Community Commission requests that the report be referred back to staff for additional information.

IMPLICATIONS

Alignment with Existing Plans & Strategies

Formation of a Joint Use Committee supports collaboration and cooperation with SD64 which aligns with the SSI LCC Strategic Plan 2024-2027 Governance priority and objective for collaboration and cooperation with other agencies.

Service Delivery Implications

The Joint-Use agreement allows for public recreation access at school facilities, for example day camp programs on public school playing fields, and public-school student access to SSI recreation facilities. This mutual access is free of charge for both parties and is vital to the cost-effective delivery of recreational programs and services for local residents.

CONCLUSION

In response to an LCC motion of July 2025 staff were requested to report back on the creation of a Joint Use Committee with SD64. The creation of the committee, to review and renew the expiring Joint Use agreement requires the appointment of an LCC member. This action aligns with the SSI LCC Strategic Plan 2024-2027, Governance priority and objective for collaboration and cooperation and supports the delivery of community recreation programs and services.

RECOMMENDATION

The Salt Spring Island Local Community Commission (LCC) appoints the Chair of the LCC to serve on a Joint Use Committee as identified in the 2021 Joint-Use Agreement between the Capital Regional District and Board of Trustees of School District No.64.

Submitted by:	Kent Bittorf, BPhEd, Manager, SSI Parks and Recreation
Concurrence:	Dan Ovington, BBA, Senior Manager, Salt Spring Island Administration
Concurrence:	Stephen Henderson, MBA, P.G.Dip.Eng, BSc, General Manager, Electoral Area Services

ATTACHMENT(S)

Appendix A: Head of Terms Joint-Use Agreement Between the Capital Regional District and The Board of Trustees of School District No.64 (Gulf Islands), 2021

JOINT USE AGREEMENT SUMMARY

- PURPOSE:** Joint use of CRD and School District 64 facilities on SSI
- PARTIES:** Capital Regional District – SSI Parks and Recreation
& Board of Education of School District No.64 (Gulf Islands)
- START DATE:** Upon CRD and Board approval – February 10, 2021
PARC motion – January 19th, 2021
SD 64 Board motion – February 10th, 2021
- END DATE:** February 9th, 2026
- TERM:** 5 years
- FEE:** Parties can use each other’s facilities free of charge with the exception of additional staff charges for cleaning or supervision outside of regular operations.
- Termination:** Either party may terminate the agreement with six months prior written notice.

FACILITIES

CAPITAL REGIONAL DISTRICT SALT SPRING ISLAND FACILITIES:

- 1) All Community Parks including Athletic Fields
- 2) All improved Community Trails under PARC jurisdiction
- 3) Tennis Courts at Portlock Park and Fulford Fire hall
- 4) Track at Portlock Park
- 5) Multi-purpose Court at Portlock Park
- 6) Rainbow Road Aquatic Centre
- 7) Portable Classrooms at Portlock Park & Rainbow Road Aquatic Centre

SCHOOL DISTRICT NO. 64 (GULF ISLANDS) FACILITIES:

- 1) Gulf Islands Secondary School
- 2) Salt Spring Elementary School
- 3) Salt Spring Middle School
- 4) Phoenix Elementary School
- 5) Fernwood Elementary School
- 6) Fulford Elementary School
- 7) School Board Office (Meeting Room)
- 8) Duck Creek School District Reserve Lands





Making a difference...together

REPORT TO SALT SPRING ISLAND LOCAL COMMUNITY COMMISSION MEETING OF THURSDAY, FEBRUARY 19, 2026

SUBJECT Grace Point Statutory Right of Way

ISSUE SUMMARY

To review the condition and issues of misuse related to the Grace Point Statutory Right of Way.

BACKGROUND

At the July 17, 2025, regular meeting of the Salt Spring Island Local Community Commission (LCC) passed the following notice of motion:

“That the Salt Spring Island Local Community Commission request staff report back on the condition of the Grace Point Statutory Right of Way, issues of use or misuse of the SROW, and options for resolving those issues including, but not limited to, those issues and possible solutions raised by the Grace Point Strata Board.”

The Capital Regional District (CRD) obtained a Statutory Right of Way (SROW) in 1993 over a portion of land owned by the Grace Point Strata (Appendix A) likely as part of a park land dedication required at the time of subdivision.

The SROW is approximately 200 metres and includes a boardwalk, seawall, pedestrian pathway and a footpath that leads to a viewpoint on rocks at the end of Grace Point. The boardwalk and pathway are used by the community and visitors to Salt Spring Island as well as those who reside or frequent boats in the harbour.

Grace Point is in a registered archaeological site with most of the SROW overlapping areas of high archaeological potential or the registered site.

Condition of the Grace Point Statutory Right of Way

Improvements to the pathway and seawall have been minimal as the SROW requires the CRD:

“To maintain Area B as a footpath to gain access to a viewpoint in Area B and to maintain the footpath and viewpoint in as natural a state as can be reasonably achieved consistent with the requirements of public safety.”

Archaeological implications also limit any ground altering works that can take place without an alteration permit required by the Heritage Conservation Act (HCA).

Regular maintenance is completed annually to remove and replace decking that is in poor condition and to sink or replace nails that have lifted. In 2015 the Grace Point Boardwalk railing was replaced and in 2021 a structural assessment was completed identifying areas of “very poor” to “good” condition (Appendix B). Decking was identified as “Poor to Fair” and recommended replacement to approximately 20% of the boards. This work has been included in the annual maintenance. Concrete footings were identified as “Poor” requiring them to be demolished and replaced. This work has not been completed and a current inspection and detailed design is required

Issues of use or Misuse of the SROW

The CRD has received several complaints from the strata over the years regarding inappropriate use of the SROW and surrounding areas including the beach. While the CRD does not have any jurisdiction below the high tide mark we have participated in annual beach clean ups and garbage removal.

Complaints received include disruptive gatherings, drinking, drug use, open fires, fighting and aggressive dogs. In response the CRD has included Grace Point in our Bylaw patrols and informed residents to call the RCMP outside of regular business hours. Signage has also been posted.

Options for Resolving Issues

In a letter from the Grace Point Stata dated February 18, 2025 (Appendix C) several recommended actions are listed including that the CRD:

- Close down access to the path beyond the boardwalk by installing a gate.
- Keep the path closed until steps, handrails and barriers have been installed.
- Install a fence above the high tide mark to prevent access from the beach to the path (Grace Point to cover costs)
- Persuade the RCMP to adopt a no-tolerance policy toward drinking and other activities on the SROW.
- Officially announce that the pathway is only open from 6am-6pm each day.
- Consider a riprap solution to preserve the coastline should the erosion problem accelerate.

The closure of a community amenity should involve some level of public consultation unless deemed a safety concern. Given that the pathway is intended to be maintained in a nature state as well as archaeological constraints, the installation of handrails or other urban improvements could be avoided with additional signage and regular inspections.

The CRD currently has an agreement with the RCMP where they can issue “no go’s” to frequent park offenders essentially banning them from designated community parks or SSI CRD parks in general.

Signage in parks usually indicates that the park is open from dawn to dusk. Additional signage could be placed at Grace Point, however late-night enforcement remains an issue.

ALTERNATIVES

Alternative 1

The Salt Spring Island Local Community Commission requests that staff procure detailed designs and costing to address deficiencies identified in the 2021 Structural Assessment and erect additional signage indicating the park is closed from dawn to dusk.

Alternative 2

The Salt Spring Island Local Community Commission requests that the report be referred back to staff for additional information.

IMPLICATIONS

Financial Implications

\$30,000 has been included in the 2026 SSI Parks and Recreation Five Year Financial Plan to support boardwalk upgrades. This funding is made up of \$10,000 in reserve funding and \$20,000 in Community Works Funding.

First Nations Implications

The SROW is situated within the traditional territory of Coast Salish peoples, specifically the ancestral lands of the Hul'qumi'num and SENĆOŦEN speaking peoples. It is located within, and in the immediate vicinity of, an extensive registered archaeological site that is regulated under the HCA. As a result, any land-altering activities within the property boundaries require HCA permit(s) to be in place prior to commencing works such as excavation, vegetation removal, fencing or railing installation, trail construction, foundation removal, tree management, or any other activity that has the potential to disturb subsurface deposits and/or alter the archaeological site, where present. Consultation with the involved First Nations forms a required component of the permitting process.

Social Implications

Ganges is the commercial, social, cultural and institutional heart of Salt Spring Island and boasts ocean views from community parks including Centennial, Rotary and Grace Point. The Grace Point boardwalk and walkway are heavily used by locals, visitors and liveaboards and is adjacent to the community's central outdoor gathering places and home to the popular Saturday Market.

CONCLUSION

In response to a letter from the Grace Point Strata, the SSI Local Community Commission requested that staff report back on the conditions, issues and options for resolving those issues including those recommended by the Strata. While the recommendations put forward by the strata have implications that need to be further explored, upgrades to the existing boardwalk structure and additional signage and patrols could be implemented right away.

RECOMMENDATION

The Salt Spring Island Local Community Commission requests that staff procure detailed designs and costing to address deficiencies identified in the 2021 Structural Assessment and erect additional signage indicating the park is closed from dawn to dusk.

Submitted by:	Kent Bittorf, BPhEd, Manager, SSI Parks and Recreation
Concurrence:	Dan Ovington, BBA, Senior Manager, Salt Spring Island Administration
Concurrence:	Stephen Henderson, MBA, P.G.Dip.Eng, BSc, General Manager, Electoral Area Services

ATTACHMENT(S)

Appendix A: Statutory Right of Way, Dated May 31, 1993

Appendix B: Centennial & Grace Point Boardwalk Structural Assessment, Dated March 17, 2021

Appendix C: Grace Point Strata Letter, Dated February 18, 2025

96 NOV 27 09 51

EK133032

Land Title Act
Form C (Section 219.81)
Province of
British Columbia

RECEIVED-VICTORIA
LAND TITLE OFFICE

GENERAL INSTRUMENT - PART 1

(This area for Land Title Office Use)

Page 1 of 8 pages

1. Application: (Name, address, phone number and signature of applicant, applicant's solicitor or agent)
STAPLES McDANNOLD STEWART
 Barristers & Solicitors, 2nd Floor, 837 Burdett Avenue
 Victoria, British Columbia, V8W 1B3 380-7744
 BURNS SERVICES
Ken Rockall
 Authorized Signatory 11/10/96
2. Parcel Identifier(s) and Legal Description(s) of Land: *
 (PID) (Legal Description)
 012-176-621 ~~The Remainder Of~~ D.L. 597
 The Common Property, Strata Plan 1671, Section 1, Range 4 East,
 And District Lot 595, North Salt Spring Island, Cowichan District,
 And Blocks "D" And "G", Of District Lots 474 And 657,
3. Nature of Interest Description Document Reference (page & paragraph) Person Entitled to Interest
 Statutory Right of Way Page 3, Paragraphs 1.0 and 1.1 and Page 4, Paragraph 1.2 Transferee

4. Terms: Part 2 of this instrument consists of (select one only)
 (a) Filed Standard Charge Terms — D.F. No.
 (b) Express Charge Terms Annexed as Part 2
 (c) Release — There is no Part 2 of this instrument
- A selection of (a) includes any additional or modified terms referred to in Item 7 or in a schedule annexed to this instrument. If (c) is selected, the charge described in Item 3 is released or discharged on the land described in Item 2.

5. Transferor(s)(Grantor(s)): *
THE OWNERS, STRATA PLAN NO. 1671 11/27/96 DB671a CHARGE 50.00

6. Transferee(s)(Grantee(s)): (including postal address(es) and postal code(s)) *
CAPITAL REGIONAL DISTRICT, a Regional District duly incorporated under the laws of the Province of British Columbia, pursuant to the *Municipal Act*, having its business address at 524 Yates Street, Victoria, British Columbia, V8W 2S6

7. Additional or Modified Terms: *
 N/A

8. Execution(s): ** This instrument creates, assigns, modifies, enlarges, discharges or governs the priority of the interest(s) described in Item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument, and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.

Execution Date
 Y M D
 1996 MAY 31

Officer Signature(s)
Robert C. Brawn
 ROBERT C. BRAUN

Party(ies) Signature(s)
THE OWNERS, STRATA PLAN NO. 1671 by its authorized signatory:
Thomas H. Wright
 THOMAS H. WRIGHT Chairman

Officer Certification
 Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the Evidence Act, R.S.B.C. 1979 c. 116, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the Land Title Act as they pertain to the execution of this instrument.
 * If space insufficient, enter "SEE SCHEDULE" and attach schedule in Form E.
 ** If space insufficient, continue executions on additional page(s) in Form D.

Justice of the Peace for the Province of British Columbia
 R. McWHIRTER, 120 MOBRAE, SALT SPRING ISLAND, B.C. V8K 1K1

LAND TITLE ACT
Form D

EXECUTIONS CONTINUED

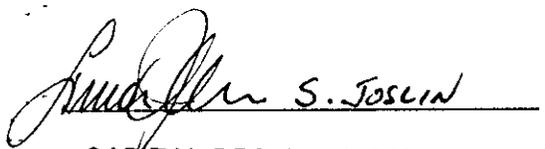
Page 2

Execution Date

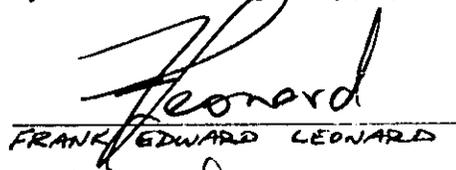
Officer Signature(s)

Y M D

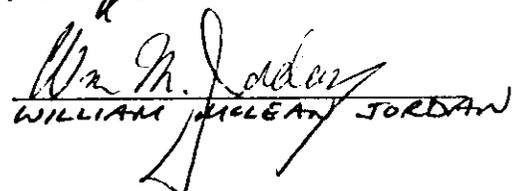
Party(ies) Signature(s)
CAPITAL REGIONAL DISTRICT
by its authorized signatory(ies):


S. JOSLIN

93/06/29


FRANK EDWARD LEONARD

CAPITAL REGIONAL DISTRICT
P.O. BOX 1000
524 YATES STREET
VICTORIA, B.C. PH: 360-3000
V8W 2S6


WILLIAM MCLEAN JORDAN

**A Commissioner for Taking Affidavits
in the Province of British Columbia.**

As to both signatures

Officer Certification:

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the Evidence Act, R.S.B.C. 1979 c. 116, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the Land Title Act as they pertain to the execution of this instrument.

GENERAL INSTRUMENT - PART 2

WHEREAS:

A. The Grantor is the registered owner or is entitled to become the registered owner of all and singular those certain parcels or tracts of lands and premises situate, lying and being in the Capital Regional District, in the Province of British Columbia and being more particularly known and described as:

Parcel Identifier Number 012-176-621

D.L. 597

The Common Property, Strata Plan 1671/Section 1, Range 4 East, ~~And District Lot 595~~, North Salt Spring Island, Cowichan District, And Blocks "D" And "G" Of District Lots 474 And 657, Cowichan District Except Part In Plan VIP51878. (hereinafter called the "Owner's Land")

PLAN VIP64426

B. The Grantee is the Capital Regional District.

C. The Regional District wishes to obtain a Right of Way over a portion of the Owner's Land more particularly shown on the Plan of Right of Way annexed hereto as Schedule "A" (the "Right of Way").

D. The Regional District has obtained from Her Majesty in right of the Province of British Columbia a Foreshore Lease of Block C of District Lots 474 and 657, Cowichan District, North Salt Spring Island adjacent to the Right of Way; (the "Foreshore Area").

E. The Owner has constructed a public walkway in the form of a boardwalk in the Foreshore Area (hereinafter called the "Boardwalk") and wishes to transfer ownership and responsibility for the maintenance and repair of the Boardwalk to the Regional District.

F. It is necessary for the operation and maintenance of the Regional District's undertaking of the provision of park walkway facilities for the enjoyment of the general public that a Right of Way be established in accordance with this document.

NOW THEREFORE THIS AGREEMENT WITNESSES that in consideration of the sum of One (\$1.00) Dollar of lawful money of Canada, now paid by the Regional District to the Owner and other valuable consideration, the receipt and sufficiency of which is hereby acknowledged, and in consideration of the covenants hereinafter contained, the Owner does hereby:

1.0 Grant, convey, confirm and transfer, in perpetuity, unto the Regional District, its successors and assigns, and all of its employees, agents, servants, licensees and all other persons who might so desire, at all times by night or day, the full, free and uninterrupted right, license, liberty, privilege, permission and right of way to enter, use, go, return, pass over and across that portion of the Owner's Land, shown in heavy outline on a Plan of Statutory Right of Way certified by G. J. Anderson on August 12th, 1992, a reduced print of which is attached hereto as Schedule "A" (hereinafter called the "Right of Way");

1.1 Grant, convey, confirm and transfer, in perpetuity, unto the Regional District, its successors and assigns, and all of its employees, agents, servants, workmen and contractors together with machinery, vehicles, equipment and materials, the right to go upon, return, pass over and use the Right of Way for the purposes of clearing, laying out, constructing, maintaining, repairing, improving and replacing the Boardwalk on the surface of that part of the Right of Way shown in heavy outline and marked as "Area A" on Schedule "B" hereto and any signage, drainage, lighting, benches or handrails in connection with the Boardwalk (hereinafter called the "Area A Improvements").

1.2 Grant, convey, confirm and transfer, in perpetuity, unto the Regional District, its successors and assigns, and all of its employees, agents, servants, workmen and contractors together with machinery, vehicles, equipment and materials, the right to go upon, return, pass over and use the Right of Way for the purposes of clearing, laying out, establishing, maintaining, improving and replacing a public walkway in the form of a footpath on the surface of that part of the Right of Way shown in heavy outline and marked as "Area B" on Schedule "B" hereto and any signage, drainage, lighting, benches or handrails in connection with the public walkway (hereinafter called the "Area B Improvements") insofar as the Area B Improvements are required for the protection of the public walkway, the public or the Regional District, its successors and assigns, and all employees, agents, servants, workmen and contractors.

2.0 **THE OWNER HEREBY COVENANTS TO AND AGREES WITH THE REGIONAL DISTRICT AS FOLLOWS:**

2.1 That without first obtaining the written consent of the Regional District, which consent will not unreasonably be withheld, the Owner will not, nor permit any other person to:

- (a) make, place, erect, install or maintain after the date of this Agreement any building, structure, excavation, pile of material or other obstruction in, under or over the Right of Way so that it in any way interferes with or damages or prevents access along or over the Right of Way;
- (b) do any act or thing which will interfere with or injure the public walkway or any improvement constructed, placed or maintained by the Regional District on, under or over the Right of Way.

2.2 To indemnify and save harmless the Regional District from any and all liability whatsoever arising out of the breach by the Owner of this Agreement or the negligent acts of the Owner or its agents, servants, contractors or licensees. Liability shall include, without limiting the generality of the foregoing, all legal costs incurred by the Regional District to defend any action commenced arising as a result of any claim for loss, damage, injury or death.

3.0 **THE REGIONAL DISTRICT HEREBY COVENANTS TO AND AGREES WITH THE OWNER AS FOLLOWS:**

3.1 In the exercise of any of its rights granted herein, to restore the surface of the Owner's Land following the carrying out of such right as nearly as is reasonably possible to the condition that the Land was in before such disturbance.

3.2 To keep the public walkway laid out, constructed, placed or maintained pursuant to this Agreement and any other improvements constructed, placed or maintained by the Regional District on the Right of Way in a good state of repair and free of garbage.

3.3 To maintain the Boardwalk constructed by the Owner in the same colour scheme as constructed by the Owner except as may be agreed by the Owner and the Regional District.

3.4 To indemnify and save harmless the Owner from any and all liability whatsoever arising out of the use of the Right of Way and Area A Improvements and Area B Improvements or the failure of the Regional District to maintain and repair the public walkway unless such liability arises out of the negligent acts of the Owner or its agents, servants, contractors, licensees or permittee or the Owner's breach of paragraph 2.1. Liability shall include, without limiting the generality of the foregoing, all legal costs incurred by the Owner to defend any action commenced arising as a result of any claim for loss, damage, injury or death.

- 3.5 To compensate the Owner for damages caused by the Regional District, its servants, agents, and contractors to buildings, tile drains, fences, timber, culverts, lanes and other improvements and any equipment or chattels on the Owner's land, except those made, placed, erected, installed and maintained contrary to paragraph 2.1 hereof or as may result from the negligence of the Owner or its agents, servants, contractors, licensees or permittees.
- 3.6 To consult with the Owner prior to the exercise of its rights under paragraph 1.1 of this Agreement and except in the case of emergency to give the Owner THIRTY (30) days notice of the dates and times of any proposed work on the Right of Way other than minor repairs, maintenance or landscaping. Page 5
- 3.7 To obtain the consent of the Owner, such consent not to be unreasonably withheld, prior to transferring ownership of the Boardwalk constructed in Area A or assigning the interest of the Regional District in this Agreement.
- 3.8 In the event that the Regional District, or its successor or assign no longer intends to maintain the Boardwalk and footpath as a public walkway, to execute and deliver to the Owner in registerable form a release of this Agreement.
- 3.9 To maintain the Boardwalk constructed in Area A as a public walkway to gain access to a view point in Area B.
- 3.10 To maintain Area B as a footpath to gain access to a view point in Area B and to maintain the footpath and view point in as natural a state as can be reasonably achieved consistent with the requirements of public safety.
- 3.11 To obtain the consent of the Owner, such consent not to be unreasonably withheld, to the size and design of any sign which the Regional District wishes to place in the Right of Way.
- 3.12 Not to permit any commercial use of the Right of Way without the consent of the Owner.

4.0 THE PARTIES HERETO COVENANT TO AND AGREE WITH THE OTHER AS FOLLOWS:

- 4.1 Notwithstanding any rule of law or equity to the contrary, the Boardwalk and Area A and Area B Improvements brought on to, set, constructed, laid, erected in, upon or under the Right of Way by the Regional District shall at all times remain the property of the Regional District notwithstanding that the same may be annexed or affixed to the freehold and shall at any time and from time to time be removable in whole or in part by the Regional District, provided that the Regional District shall, after removing the public walkway or any of the Improvements, restore the surface of the Owner's Land as nearly as is reasonably possible to the condition that the Land was in before construction of the public walkway or the Area A and Area B Improvements.
- 4.2 The Owner does hereby transfer and grant to the Regional District all its right, estate, title, interest or claim to the Boardwalk constructed by the Owner.
- 4.3 That any notice required or given under this Agreement shall be deemed to be sufficiently given:
 - (a) if delivered, at the time of delivery, and

(b) if mailed from any government post office in the province of British Columbia by prepaid, registered mail addressed as follows:

If to the Grantor:

THE OWNERS, STRATA PLAN NO. 1671

If to the Grantee:

Capital Regional District as represented by:

SALT SPRING ISLAND PARKS AND RECREATION COMMISSION
P.O. Box 197
Ganges, B.C.
V0S 1E0

or at the address the party may from time to time designate, and a notice shall be deemed to have been received 48 hours after the time and date of mailing. If, at the time of the mailing of the notice, the delivery of mail in the province of British Columbia has been interrupted in whole or in part by reason of a strike, slow down, lock out or other labour dispute then the notice may only be given by actual delivery of it.

- 4.4 No part of the title in fee simple to the soil shall pass to or be vested in the Regional District under or by virtue of these presents and the Owner may fully use and enjoy all of the lands of the Owner subject only to the rights and restrictions herein contained.
- 4.5 That the covenants herein contained shall be covenants running with the Land and that none of the covenants herein contained shall be personal or binding upon the parties hereto, save and except during the Owner's ownership of any interest in the Lands of the Owner, and with respect only to that portion of the Lands of the Owner of which the Owner has an interest, but that the Lands of the Owner shall be and remain at all times charged with the covenants contained in this Agreement.
- 4.6 This Agreement shall enure to the benefit of and be binding upon the parties hereto and their successors and assigns and their heirs and administrators respectively.
- 4.7 Whenever the singular or masculine are used they shall be construed as including the plural, feminine or body corporate where the context requires.
- 4.8.1 Any dispute that arises in the course of the exercise by the Owner and the Regional District of any right under this Agreement, including a right of consent, or related to the performance of any covenant to be performed under this Agreement may be submitted by the parties to arbitration pursuant to the *Commercial Arbitration Act* by a single arbitrator appointed jointly by them.
- 4.8.2 Costs of the arbitration shall be shared equally by the parties or as ordered by the Arbitrator.

IN WITNESS WHEREOF the parties hereto have executed this general instrument consisting of Parts One and Two and including all schedules and appendices.

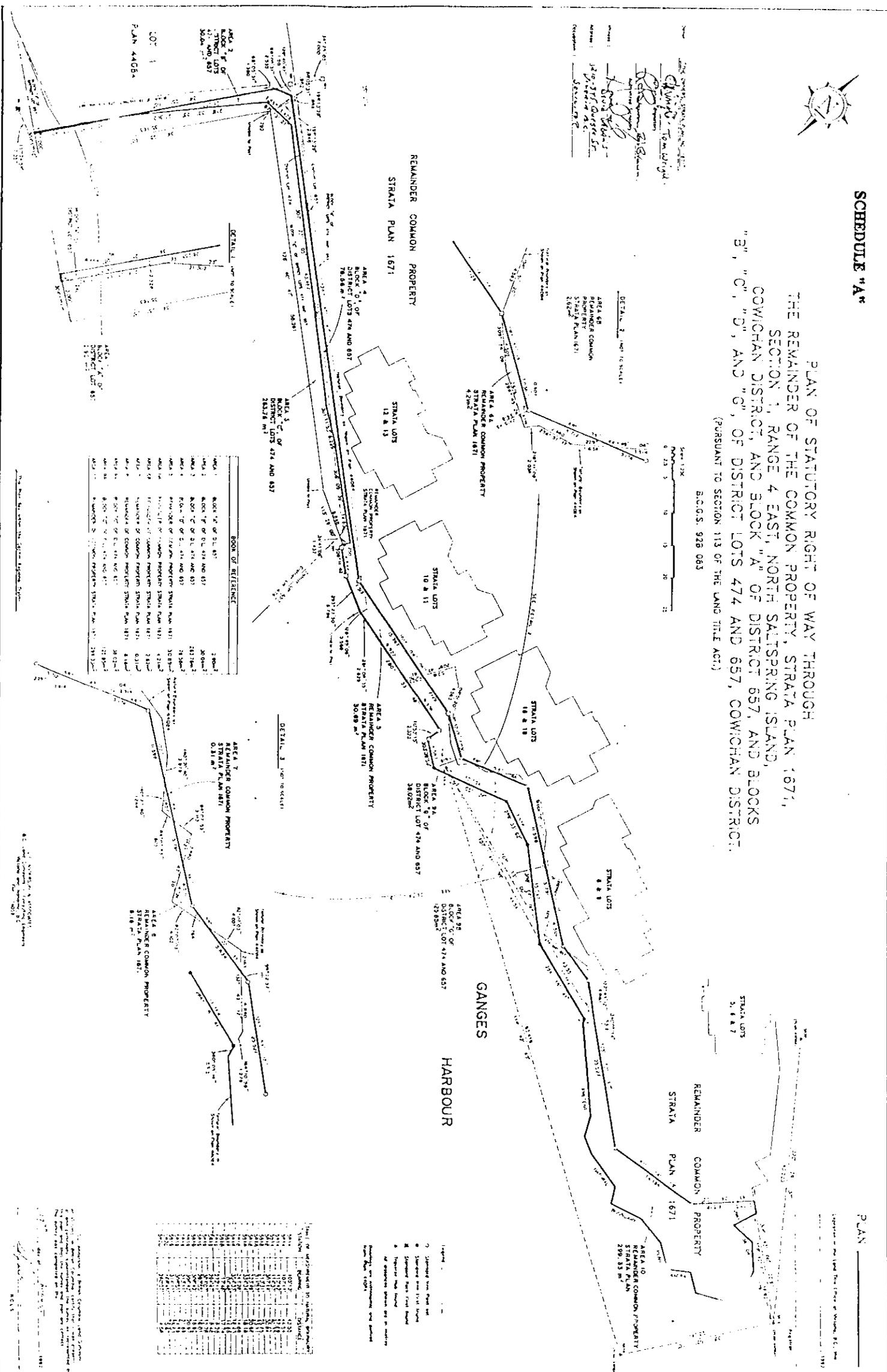
SCHEDULE "A"



PLAN OF STATUTORY RIGHT OF WAY THROUGH
 THE REMAINDER OF THE COMMON PROPERTY, STRATA PLAN 1671,
 SECTION 1, RANGE 4 EAST, NORTH SALTSRING ISLAND,
 COWICHAN DISTRICT, AND BLOCK "A" OF DISTRICT 657, AND BLOCKS
 "B", "C", "D", AND "E", OF DISTRICT LOTS 474 AND 657, COWICHAN DISTRICT.
 (PURSUANT TO SECTION 113 OF THE LAND TITLE ACT)
 B.C.O.S. 928 063

PLAN

Prepared by: *[Signature]*
 Checked by: *[Signature]*
 Approved by: *[Signature]*
 Date: 12-10-2011
 Location: Victoria, B.C.



BOOK OF REFERENCE

Area	Description	Area	Description
Area 1	Block "A" of District 657	Area 6	Remainder of Common Property Strata Plan 1671
Area 2	Block "B" of District 657	Area 7	Remainder of Common Property Strata Plan 1671
Area 3	Block "C" of District 657	Area 8	Remainder of Common Property Strata Plan 1671
Area 4	Block "D" of District 657	Area 9	Remainder of Common Property Strata Plan 1671
Area 5	Block "E" of District 657	Area 10	Remainder of Common Property Strata Plan 1671

Table of dimensions to existing boundaries

Station	Reference	Distance	Bearing
1	10/11	1.23	135° 00' 00"
2	10/11	1.23	135° 00' 00"
3	10/11	1.23	135° 00' 00"
4	10/11	1.23	135° 00' 00"
5	10/11	1.23	135° 00' 00"
6	10/11	1.23	135° 00' 00"
7	10/11	1.23	135° 00' 00"
8	10/11	1.23	135° 00' 00"
9	10/11	1.23	135° 00' 00"
10	10/11	1.23	135° 00' 00"
11	10/11	1.23	135° 00' 00"
12	10/11	1.23	135° 00' 00"
13	10/11	1.23	135° 00' 00"
14	10/11	1.23	135° 00' 00"
15	10/11	1.23	135° 00' 00"
16	10/11	1.23	135° 00' 00"
17	10/11	1.23	135° 00' 00"
18	10/11	1.23	135° 00' 00"
19	10/11	1.23	135° 00' 00"
20	10/11	1.23	135° 00' 00"
21	10/11	1.23	135° 00' 00"
22	10/11	1.23	135° 00' 00"
23	10/11	1.23	135° 00' 00"
24	10/11	1.23	135° 00' 00"
25	10/11	1.23	135° 00' 00"
26	10/11	1.23	135° 00' 00"
27	10/11	1.23	135° 00' 00"
28	10/11	1.23	135° 00' 00"
29	10/11	1.23	135° 00' 00"
30	10/11	1.23	135° 00' 00"
31	10/11	1.23	135° 00' 00"
32	10/11	1.23	135° 00' 00"
33	10/11	1.23	135° 00' 00"
34	10/11	1.23	135° 00' 00"
35	10/11	1.23	135° 00' 00"
36	10/11	1.23	135° 00' 00"
37	10/11	1.23	135° 00' 00"
38	10/11	1.23	135° 00' 00"
39	10/11	1.23	135° 00' 00"
40	10/11	1.23	135° 00' 00"
41	10/11	1.23	135° 00' 00"
42	10/11	1.23	135° 00' 00"
43	10/11	1.23	135° 00' 00"
44	10/11	1.23	135° 00' 00"
45	10/11	1.23	135° 00' 00"
46	10/11	1.23	135° 00' 00"
47	10/11	1.23	135° 00' 00"
48	10/11	1.23	135° 00' 00"
49	10/11	1.23	135° 00' 00"
50	10/11	1.23	135° 00' 00"

SCHEDULE "B"

Area A - includes the following areas on the attached reduced copy of the Plan of Statutory Right of Way certified by G.J. Anderson, B.C.L.S. on August 12, 1992:

Area 4

Area 5

Area 6A

Area 9A

Area B - includes the following areas on the attached reduced copy of the Plan of Statutory Right of Way certified by G.J. Anderson, B.C.L.S. on August 12, 1992:

Area 6B

Area 7

Area 8

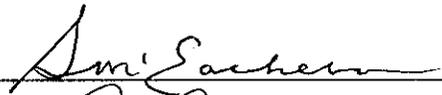
Area 9B

Area 10

FORM 6**Condominium Act****CERTIFICATE OF STRATA CORPORATION**

The Owners, Strata Plan No. 1671 (a strata corporation) hereby certify that the owners of the strata lots in the said strata plan by resolution, duly passed, directed this strata corporation to execute the instrument, a true copy of which is annexed hereto, and that all persons other than the owners having registered interests in the land within the said strata plan and all other persons having interests (other than statutory interest) which have been notified to this strata corporation having consented in writing to the execution of the said instrument.

The Common Seal of The Owners, Strata Plan No. 1671 was hereunto affixed on the 14th day of November, 1996 in the presence of





Members of the Council

E N D O F D O C U M E N T

96 NOV 27 09 50

EK133032

RECEIVED - VICTORIA
LAND TITLE OFFICE

DO NOT WRITE ABOVE THIS LINE, FOR LAND TITLE USE ONLY.

*1st 50.00
same as rest*

**APPLICATION FOR DEPOSIT OF REFERENCE OR
EXPLANATORY PLAN (CHARGE)
LAND TITLE ACT
FORM 11(a) [Section 99(1)(e), (j) and (k)]**

VIP64426

I, **Colin T.C. Stewart, Barrister & Solicitor**
Staples McDannold Stewart
2nd Floor, 837 Burdett Avenue,
Victoria, British Columbia
V8W 1B3

11/27/96 DB671a 01/PLAN 50.00

owner of a registered charge (or agent of

CAPITAL REGIONAL DISTRICT
524 Yates Street
Victoria, British Columbia
V8W 2S6

the owner of a registered charge) apply to deposit reference/explanatory plan of:

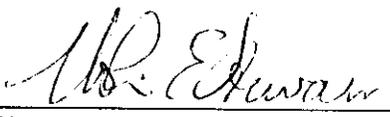
PID: 012-176-621
The Remainder Of The Common Property, Strata Plan 1671, Section 1, Range 4 East,
And District Lot 595, North Salt Spring Island, Cowichan District and Block A of
District Lot 657, and Blocks "B", "C", "D", and "G", of District Lots
474 and 657, Cowichan District.

I enclose:

1. The reference plan.
2. The reproductions of the plan required by Section 67(u).
3. Fees of \$.

VIP64426

Dated the 22 day of August, 1996.


Signature **BURNS SERVICES**

NOTE:

- (i) The following reproductions of the plan must accompany this application:
 - (a) one blue linen original (alternatively, white linen or original transparencies).
 - (b) one duplicate transparency.
 - (c) one whiteprint is required as a worksheet for the land title office.
- (ii) The following further requirements may be necessary:
 - (a) If the parent property is in an Agricultural Land Reserve, a release is required unless the parent property is less than 2 acres (app. 0.8094 hectares) or where, for permitted uses, an approving officer has signed the plan under Section 1(1)(a) and (b) of the Subdivision and Land Use Regulations (B.C. Reg.93/75) under the **Agricultural Land Commission Act**.
 - (b) Where a notice respecting a grant under the **Home Purchase Assistance Act** is endorsed on title, an extra white print must accompany the application, unless the Ministry of Lands, Parks and Housing agrees otherwise in writing. This extra print must contain the following endorsement:
"The eligible residence as defined by the **Home Purchase Assistance Act** is located on lot * created by this plan.

B.C.L.S. or solicitor for the owners

- (c) Controlled access approval must be evident on the plan where parent property adjoins a highway that is designated as a controlled access highway.
- (d) Where the plan refers to a covenant to be made under Section 215, the instrument containing the covenant must be tendered with the plan.



**Centennial Park and Grace Point
Boardwalk Structural Assessment**

115602240

March 17, 2021

Prepared for:

Capital Regional District
Salt Spring Electoral District

Prepared by:

Stantec Consulting Ltd.
400-655 Tye Road
Victoria, BC V9A 6X5

Sign-off Sheet

This document entitled Centennial Park and Grace Point Boardwalk Structural Assessment was prepared by Stantec Consulting Ltd. ("Stantec") for the account of Capital Regional District (the "Client"). Any reliance on this document by any third party is strictly prohibited. The material in it reflects Stantec's professional judgment in light of the scope, schedule and other limitations stated in the document and in the contract between Stantec and the Client. The opinions in the document are based on conditions and information existing at the time the document was published and do not take into account any subsequent changes. In preparing the document, Stantec did not verify information supplied to it by others. Any use which a third party makes of this document is the responsibility of such third party. Such third party agrees that Stantec shall not be responsible for costs or damages of any kind, if any, suffered by it or any other third party as a result of decisions made or actions taken based on this document.

Prepared by 

(signature)

Adrienne Leech, EIT

Approved by _____

(signature)

Bryan Gallagher, P. Eng.



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CENTENNIAL PARK AND GRACE POINT BOARDWALK STRUCTURAL ASSESSMENT

Introduction
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1.0 INTRODUCTION

1.1 BACKGROUND

The Centennial Park and Grace Point boardwalks were constructed in the 1980's and are still in use today. The project was a collaborative effort between public agencies and community volunteers. Records of the boardwalk construction or maintenance are not available for either section. A geotechnical investigation was completed in 2009 for the Centennial Park portion of the boardwalk. In 2015, a portion of the Grace Point boardwalk, underwent a guardrail replacement and repairs to supports.

The purpose of this assessment is to provide an updated condition assessment of the Centennial Park and Grace Point boardwalks. The assessment will also include an opinion of cost for the recommended remediations.

1.2 SITE REVIEW

On January 21st – 22nd, 2021 Bryan Gallagher (Structural Engineer) and Adrienne Leech (Structural EIT) conducted a site review of the accessible sections of the Centennial Park and Grace Point boardwalk on Salt Spring Island.

The accessible sections of boardwalk were visually reviewed, and hammer sounded. Stantec timed the site review to correspond with a relative low tide and was able to assess the majority of each boardwalk's substructure using hip waders.

1.3 SITE DESCRIPTION

The Centennial Park and Grace Point boardwalk was assessed in 8 sections for the purposes of this report, as shown in the site map provided in **Figure 1**. There are four over-water, piled timber boardwalk sections (section 1, 3, 6, 7). Section 1 includes a timber approach that supports a timber gazebo. Section 2 consists of a timber gazebo located on grade in Centennial Park. Two of these boardwalk sections (section 4, 5) are located at grade supported by concrete foundations. Section 8 consists of a concrete constructed walkway. The timber boardwalk construction was found to be generally uniform with minimal changes to the structural framing between sections.

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Figure 1 - Site Layout (CRD Maps)

1.4 SCOPE OF INSPECTION

Figure 1 above shows the Capital Park and Grace Point boardwalk and the relevant sections that are part of this assessment.

The scope of work consists of:

- 1) An assessment of the completed boardwalk sections and a technical evaluation of existing structural competence and likely life span of the following components:
 - a. Existing superstructure elements: pile caps, stringers, decking and guardrails.
 - b. Existing substructure elements: concrete foundations, timber piles and timber bracing.
 - c. Existing gazebo structures (2 total) constructed of wood (located in Centennial Park).
- 2) Opinion of probable cost for recommended repairs.

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1.5 CONDITION RATINGS

Components have been rated according to the following condition states:

- Excellent:** New condition
- Good:** Normal wear and deterioration generally not requiring maintenance or repair.
- Fair:** Minor defects, deterioration or collision damage; generally requires maintenance or repair.
- Poor:** Advanced deterioration, significant defects or collision damage; repairs required
- Very Poor:** Serious defects, deterioration or collision damage, imminent failure of component requiring immediate repair or replacement and/ or load restrictions.

2.0 PREVIOUS GEOTECHNICAL ASSESSMENT RESULTS

The previous assessment was conducted by Ryzuk and Associates Ltd. (Ryzuk) in September 2009. Ryzuk conducted a review of a portion of the Centennial Park boardwalk foundations and provided a report. Ryzuk found that, on the west side, the boardwalk is supported by concrete strip footings cast directly on grade which have been severely undermined in many locations. The report notes that the concrete footings were mainly founded on fine grained soil on top of rip rap and that undermining was likely due to storm wave action eroding the fine grain soils. Ryzuk recommended that the foundations be underpinned to re-establish support for the boardwalk. The Ryzuk report included a hand-sketch of the general boardwalk framing for the portions of the Centennial boardwalk supported by piles over the water. The sketch repair details included the addition of braces between piles.

3.0 ASSESSMENT RESULTS

The boardwalk superstructure construction appears to follow typical “light-duty” marine construction. The age of the boardwalk is estimated to be about 30 years old. It appears that all piles and substructure are original and have not been replaced. Record drawings and maintenance records were not available. It appears that the boardwalk sections have been generally maintained throughout the life of the structure. There is evidence of repairs visible along the Centennial Park boardwalk, recommended by Ryzuk in 2009.

Timber construction typically utilizes some form of preservative treatment in marine environments to prevent rot and damage by marine organisms. All of the piles assessed were found to be creosote-treated and the remaining timber components appear to be pressure-treated.

If installed and maintained properly, creosote-treated timber piles can last as long as 50-years in a marine environment, while pressure-treated timber has a typical life-span of 30-years if properly maintained. If not installed or maintained properly, the life span can be considerably less.

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Wood components were tested using a non-destructive technique called sounding. A hammer is used to hit the wood component and the resulting sound is representative of the condition of the wood. A dull or hollow sound will indicate decay or a hollow cavity inside the wood. This method of testing will diagnose significant damage where considerable decay is present near the surface of the wood.

Select timber components were also tested by drilling and collecting wood samples. If the timber is in poor condition, there is less resistance while drilling. If the sawdust sample taken is damp it is indicative of decay due to moisture penetration. Where drilled samples were taken, borate rods were hammered into the holes to protect and prevent the timber from further decay.

3.1 CENTENNIAL PARK BOARDWALK

3.1.1 Section 1 – Boardwalk Approach and Over Water Gazebo

This portion of boardwalk is located furthest to the south-west and is generally open to the public; however, the boardwalk gazebo is currently blocked off due to safety concerns. Ryzuk reviewed this section of the Centennial boardwalk as part of the 2009 assessment but the gazebo superstructure was not included in their review. Currently the gazebo is listing to the north due to a failing member.

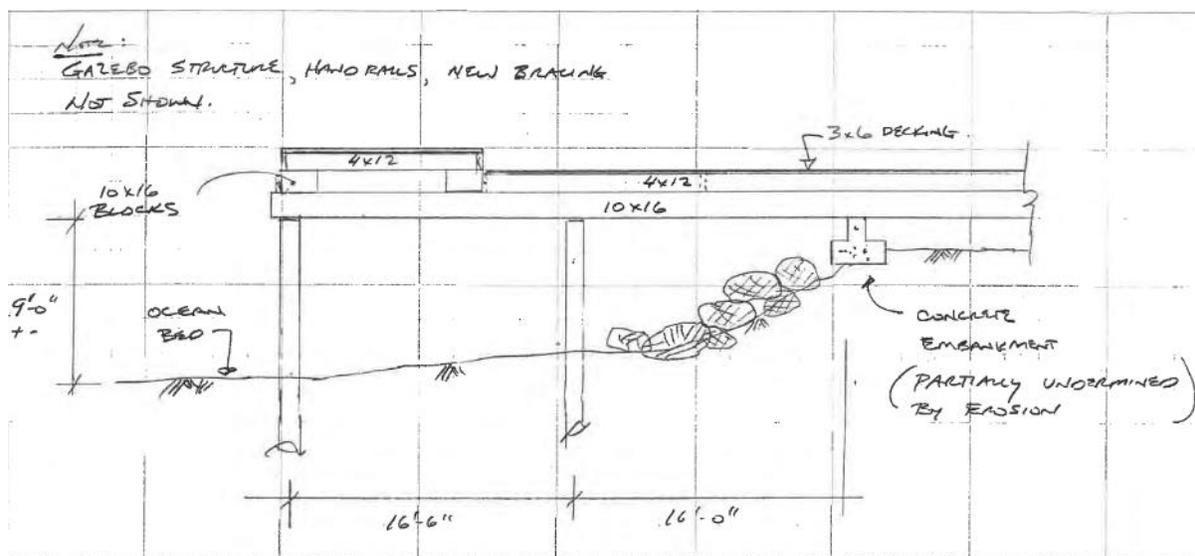


Figure 2 – Section 1: General construction of boardwalk approach (2009 Ryzuk assessment)

3.1.1.1 Decking

The approach decking is comprised of 3x6 rough sawn, pressure-treated boards, spanning approximately 4', supported by stringers. A considerable amount of the deck was found to have rot pockets and splitting and appeared to be in generally poor to fair condition as seen in **Image 5 of Appendix A**. Based on site observations, the current

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decking is approaching end of life; therefore, Stantec recommends that the deck boards be replaced within the next year.

3.1.1.2 Stringers

The stringers are typically 4x12 rough sawn, pressure treated members. The outside stringers sit directly parallel on top of the pile caps. The central stringers span approximately 10' supported with joist hangers by perpendicular 4x10 members. Minor organic growth is present on the stringers. Accessible stringers were sounded with a hammer and were found to be in fair condition as seen in **Image 2 of Appendix A**.

3.1.1.3 Pile Caps

The pile caps are 2-span, 10x16 rough sawn, pressure treated members spanning approximately 16' between the piles and the concrete foundations, as seen in **Image 3 of Appendix A**. The pile caps appear to have been reused from a previous structure. Remnants of old drift pins were visible at the underside of the pile caps. Organic growth is present along the members and rot pockets were found in several locations under the approach section.

There are 10x16 blocks bearing directly on the pile caps supporting the gazebo structure. The blocks are in fair condition; however, it appears that the blocks may not be adequately anchored to the pile caps below.

Stantec recommends that both pile caps and the supported blocks are replaced. It is recommended that this work be completed at the same time as the deck and guard rail replacement to provide access for the replacement. It may be necessary/ cost effective to disassemble the gazebo structure in order to complete this replacement and the end beam replacement recommended in **Section 3.1.1.8**.

3.1.1.4 Concrete Foundation

A concrete abutment is located at the south end of the approach. The concrete appears to have been cast directly on the existing soil and rock. This foundation has significant undermining as seen in **Image 2 of Appendix A**. This may be a result of wave action, at high tide, eroding the soil from below the footing. It does not appear that any remediations have been attempted for this foundation. Stantec recommends the extent of the concrete foundation is underpinned with cast-in-place, reinforced concrete. If possible, the concrete should be dowelled into the existing underlying rock.

3.1.1.5 Piles

There are two rows of piles spaced at approximately 16' in this section, the size of the piles varies from approximately 9" to 12" in diameter. The piles were visually assessed from below during low tide. The piles were sounded with a hammer and visually inspected. The piles were found to generally be in good condition. The tops of the piles have a metal cap that protects the pile from weather and separates the pile from the pile cap. These metal caps were found to generally be in fair condition.

3.1.1.6 Braces

The cross-braces are creosote-treated 4x8 sections bracing the piles in each direction, as seen in **Image 3 of Appendix A**. The braces are connected to the piles with a single thru-bolt connection at each end. The braces were

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indicated as new members on the repair sketches prepared by Ryzuk as part of their 2009 assessment. The braces appear to be in good conditions suggesting they were installed sometime after 2009.

3.1.1.7 Guardrails

The guardrail consists of three 2x6 horizontal members and one 2x8 top rail spanning between 4x4 posts spaced at approximately 8' on center. The posts are connected with a standard two-bolt assembly to the 4x12 stringer supporting the deck boards. There are vertical pickets fastened to the horizontal members spaced evenly for the extent of the guardrail. The guardrail components appear to be pressure-treated. It does not appear that components of the guardrail assembly have been replaced recently, refer to **Image 5 of Appendix A**. Several components appear to have minor splitting, rot pockets and heavy organic growth. The majority of the guardrail components are approaching end of life and are recommended to be replaced within the next few years.

3.1.1.8 Over Water Gazebo Superstructure

The over water gazebo consists of a cedar shake roof supported by 1x6 strapping at 8" on center. The strapping spans between 2x6 joists spaced at approximately 3' on center. The joists are supported by 4x10 beams spanning approximately 12', supported each end by 4x4 posts. All of the superstructure components appear to be rough sawn, pressure treated timber. The 2x6 ridge members extend past the soffit and are exposed to the weather. This has resulted in accelerated decay as seen in **Image 6 of Appendix A**. It is recommended that the outrigger portion of these ridge members are cut back to reduce any further decay. The cedar shake roof was found to be in poor condition, as seen in **Image 1 of Appendix A** and should be replaced.

The gazebo floor consists of 3x8 deck boards spanning approximately 4' supported by 4x12 stringers. The stringers are supported by perpendicular 4x12 beams. The stringers appear to be connected to the beams with a minimum of two lag bolts. The beams span approximately 12', supported by 10x16 blocks bearing on the 10x16 pile caps below. All of the substructure components appeared to be rough sawn, pressure treated timber. The beam on the east side is in very poor condition and appears to be severely rotten where it bears on the block below (visible in **Image 6 of Appendix A**). This failing beam has caused the entire gazebo structure to list to the north as seen in **Image 4 of Appendix A**. Due to the construction of the gazebo floor, failure of this beam will likely cause a partial or complete collapse of the gazebo structure. Stantec recommends that this beam be replaced immediately.

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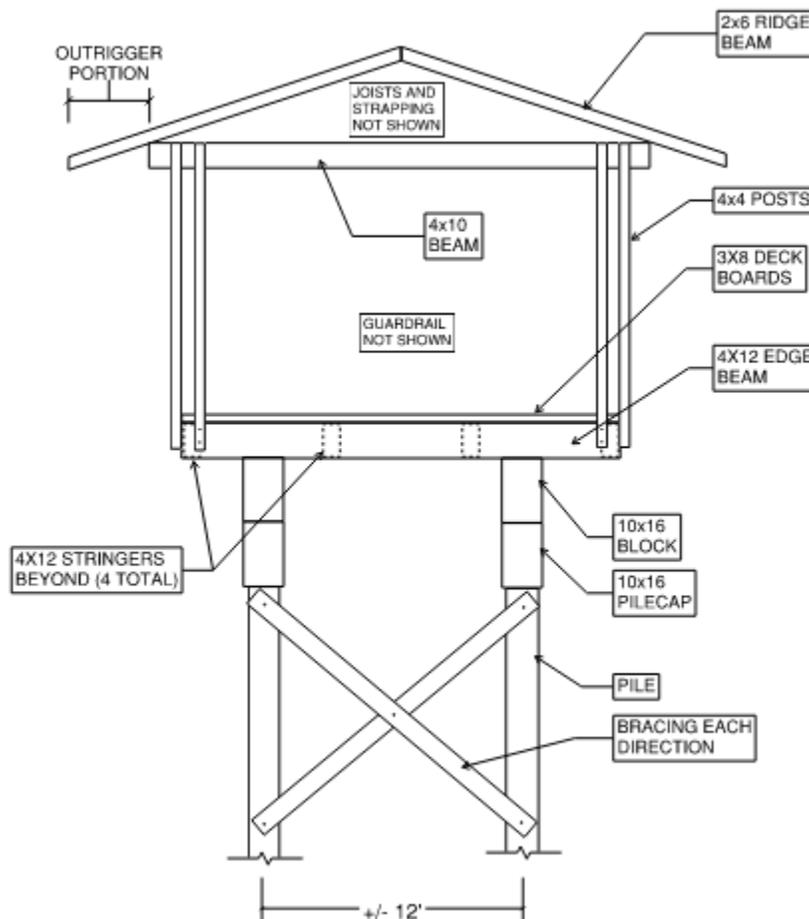


Figure 3 – East Elevation of Gazebo and General Framing

3.1.2 Section 2 – Park Gazebo

A larger wood framed gazebo is located on grade in Centennial Park as seen in **Image 7** in **Appendix A**. The gazebo consists of a cedar shake roof supported by 2x4 strapping. The strapping spans between 2x6 joists at approximately 30" on center. The joists are supported by 6x6 upper beams and 6x10 lower beams. The beams are supported by 6x6 posts. The posts are braced to the beams each direction with minimum 4x4 knee braces. All of the superstructure components appeared to be rough sawn, pressure treated timber.

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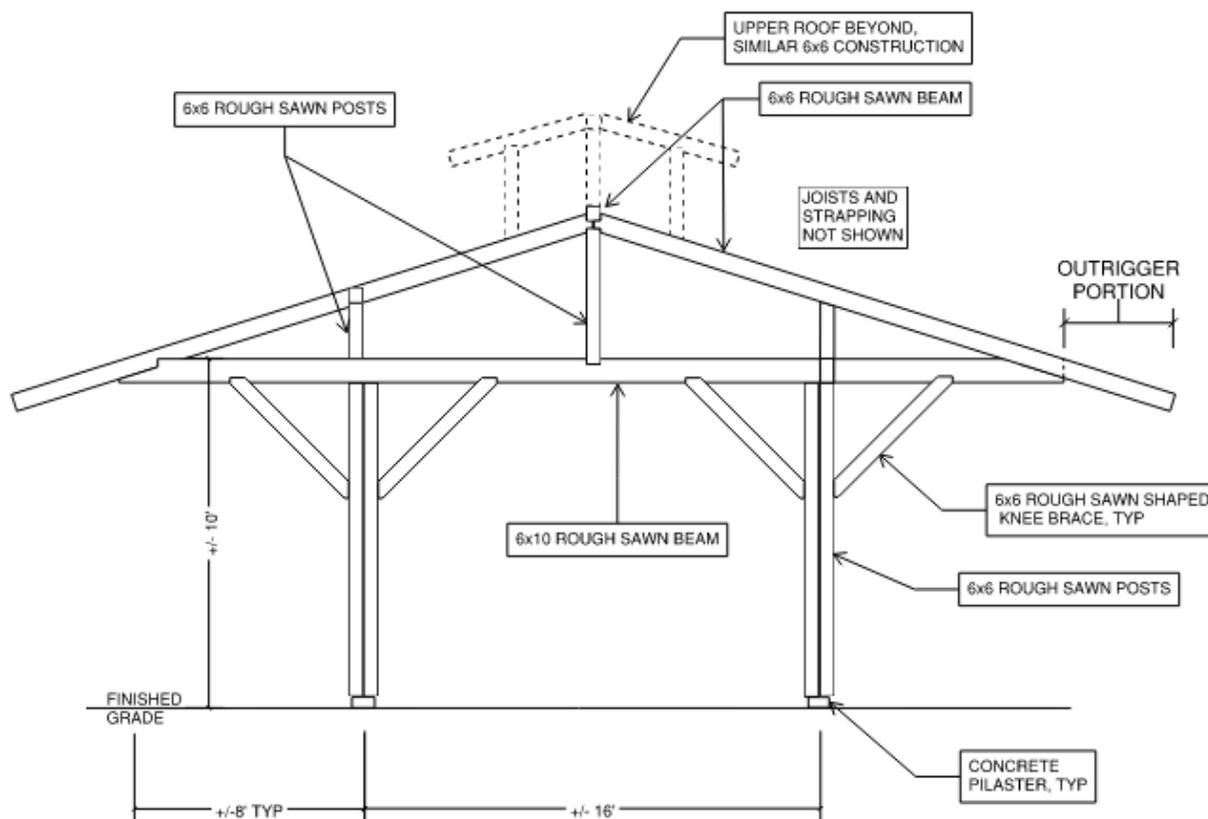


Figure 4 - Park Gazebo Typical Elevation and General Framing

The cedar shakes on the lower and upper roof are in poor condition and are recommended to be replaced. The upper 6x6 beams extend past the roof and are exposed to the weather. The outrigger portion is showing signs of heavy organic growth and rot as seen in **Image 8** in **Appendix A**. The outriggers were sounded with a hammer which indicated soft spots in the wood. Two samples were taken from the outriggers to determine the extent of the rot. The samples were taken with an impact drill. In both locations the wood was soft and damp indicating rot.

The outriggers are extensions of the 6x6 upper beams and are not supporting any structure. However, during the site review it was found that moisture is being drawn up the beam from the exposed outrigger. If this condition is left to continue the portions of the beams supporting the structure will begin to decay at an accelerated rate. In order to avoid any further deterioration, Stantec recommends that the outriggers be cut back flush with the roof. The ends of the 6x6 beams are recommended to be protected with flashing to avoid any further water damage.

The remaining timber components were found to be in generally good condition.

3.1.3 Section 3 – Over Water Boardwalk

This portion of boardwalk is located in Centennial Park and is open to the public. Ryzuk reviewed this portion of the boardwalk as part of the 2009 assessment. During the site review, evidence of previous repairs to this portion of the boardwalk were visible.

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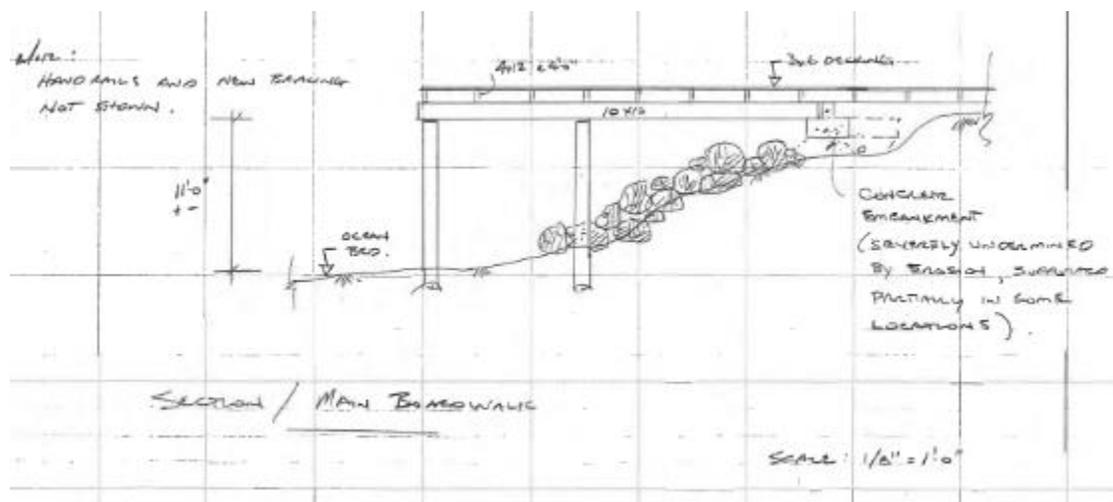


Figure 5 - General construction of boardwalk (2009 Ryzuk assessment)

3.1.3.1 Decking

The decking is comprised of 3x6 rough sawn, pressure-treated boards, spanning approximately 4', supported by timber stringers. The decking was found to generally be in fair condition. Several boards are in very poor condition having major splitting and rot pockets as seen in **Image 10** in **Appendix A**. Stantec estimates that approximately 20% of the deck boards will require replacing within the next year, with the remainder requiring replacement in the next five years. The decking should be inspected annually, as part of regular maintenance, and any boards found to have major splits or rot pockets should be replaced. Nails that are found to be proud should be sunk down to reduce tripping hazards.

3.1.3.2 Stringers

The stringers are typically rough sawn, pressure treated 4x10 members spaced at approximately 4' on center. The stringers span a maximum of 17.5', supported by the pile caps. Minor presence of organic growth was found on the stringers. Accessible stringers were sounded with a hammer and were found to be in generally good condition.

3.1.3.3 Pile Caps

The pile caps are typically rough sawn, pressure treated 10x16 members spanning a maximum of approximately 17' between the piles and concrete strip footings as seen in **Image 11** of **Appendix A**. The pile caps appear to have been reused from a previous structure. Remnants of old drift pins were visible at the underside of the pile caps. There is minor organic growth on the pile caps. In accessible locations, the pile caps were sounded with a hammer and appeared to be in fair condition.

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3.1.3.4 Concrete Foundations

The pile caps are supported on the west side by a continuous concrete strip footing. The pile caps are connected to the footing with structural steel brackets anchored to the concrete. The concrete footing appears to have been directly cast on the existing soil and underlying rip rap. During the site review, it was found that the concrete footing is being significantly undermined as seen in **Image 12** in **Appendix A**. This may be a result from wave action at high tide eroding the soil from below the footing.

During the review, it was observed that recommended measures to mitigate the undermining were completed since the 2009 Ryzuk review as seen in **Image 13** in **Appendix A**. However, undermining has continued in several locations. Stantec recommends that further underpinning of the foundations be completed by installing cast-in-place, reinforced concrete. If possible, this concrete should be dowelled into the underlying rock. In order to avoid any future undermining, Stantec recommends that additional rip rap be added below the boardwalk structure to reduce wave action against the foundation.

3.1.3.5 Piles

There are two rows of piles spaced at approximately 13' in this section, the size of the piles varies from approximately 9" to 12" in diameter. The piles were visually inspected from below during low tide. Stantec noted minor marine growth on the piles below the water line. Accessible piles were sounded with a hammer. Sounding of the piles suggest that the piles are in good condition. The top of the piles have a metal cap that protects the pile from weather and separates the pile from the pile cap. These metal caps appear to generally be in fair condition.

3.1.3.6 Braces

The cross-braces are creosote-treated 4x8 sections bracing the piles in each direction. The braces are connected to the piles with a single thru-bolt connection at each end. The braces were indicated as new members on the repair sketches prepared by Ryzuk as part of their 2009 assessment. The braces appear to be in good conditions suggesting they were installed sometime after 2009.

3.1.3.7 Guardrails

The guardrail consists of three 2x6 horizontal members and one 2x8 top rail spanning between 4x4 posts spaced at approximately 8' on center. The posts are connected with a standard two-bolt assembly to the 4x12 edge stringer supporting the deck boards. There are vertical pickets fastened to the horizontal members spaced evenly for the extent of the guardrail. All of the guardrail components appear to be pressure-treated timber. It does not appear that components of the guardrail assembly have been replaced recently. A large section of the guardrail was found to be leaning outwards as seen in **Image 10** of **Appendix A**. Several components appear to have minor splitting, rot pockets and heavy organic growth. The majority of the guardrail components are approaching end of life and are recommended to be replaced within the next three years.

3.1.4 Section 4 & 5 –Boardwalk on Grade

Two sections of the boardwalk have been constructed on grade. The boardwalk construction consists of 3x6 rough sawn, pressure-treated deck boards spanning approximately 8'. The deck boards appear to be supported on the east

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side by a pressure treated wood member bearing directly on a continuous concrete strip footing. The support condition on the west side was not accessible to view during the site review. It is likely that the condition is similar to the east side, where the deck boards are supported on a wood member bearing directly on a concrete strip footing.

The deck boards in this section appear to be in generally fair condition; however, several boards appear to be in very poor condition.

During the site review, Stantec assessed the visible portion of the east concrete strip footing. It was found that the footing is severely undermined in several locations, as shown in **Image 15** and **Image 18** of **Appendix A**. The footings have likely been undermined by erosion. It is suspected that the high tide line is below the underside of these foundations.

Due to the current condition of the deck boards and the undermined concrete foundations, it is Stantec's opinion that a full replacement of these portions of boardwalk on grade is preferable to repair. Undermining of the foundation in these sections is very severe and the condition of the concrete looks to be poor. New reinforced, concrete foundations should be constructed at the appropriate depth to avoid undermining in the future. Where possible, these foundations should be concrete pier foundations drilled and dowelled to the existing bedrock.

3.2 GRACE POINT BOARDWALK

3.2.1 Section 6 – Storefront Boardwalk

This section of boardwalk is located in front of the Grace Point Square business development. The stores and businesses use a portion of the boardwalk for patio space. Partial height walls and posts are supported on the boardwalk as seen in **Image 20** in **Appendix A**. There does not appear to be any additional support (such as a concrete footings, or timber beams) located below the deck to support the partial height walls or posts. The wood posts supported by the boardwalk may be decorative and therefore would not impose a significant load on the boardwalk structure. However, the deck boards appear to be in worse condition surrounding the post locations. This condition will pose some difficulties when replacing deck boards, as the partial height walls and posts have been constructed directly on top of the boards. For a full deck replacement, portions of the walls will likely need to be removed and replaced.

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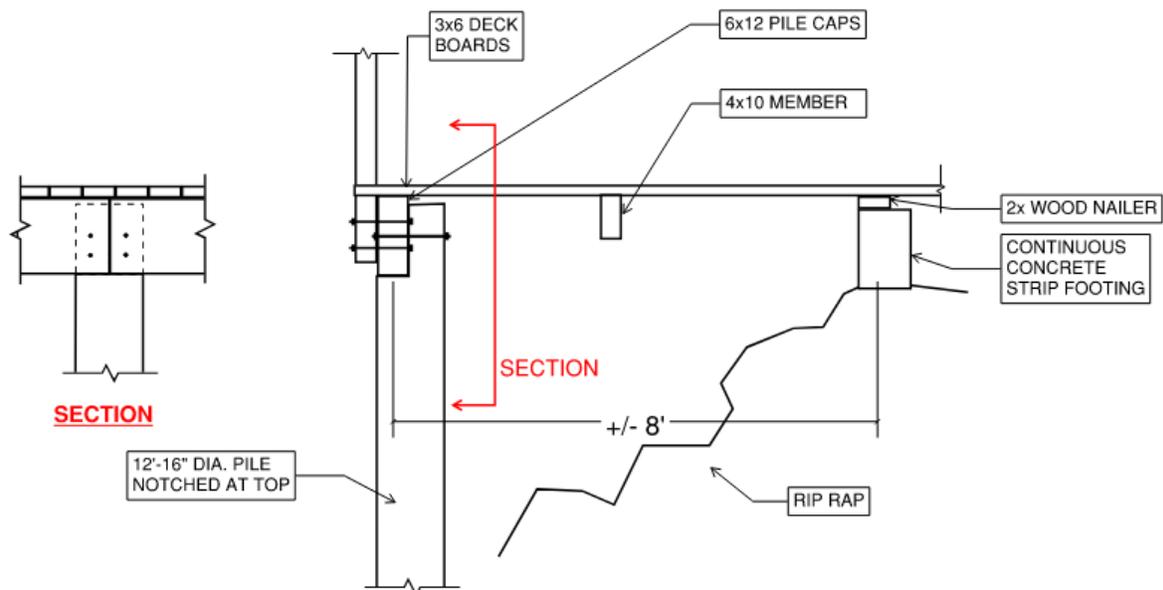


Figure 6 - General construction of Section 6 boardwalk

3.2.1.1 Decking

The decking is comprised of 3x6 rough sawn, pressure-treated boards, spanning a maximum of approximately 8'. At the western end of the boardwalk the deck boards are supported by timber stringers. For the remaining portion, the deck boards span between the pile caps and a continuous concrete strip footing. At approximately midspan, a 4x10 timber member is fastened to the underside of the deck boards. These members do not provide significant structural support at the midspan but may have been installed to assist in load sharing between the deck boards.

The decking was found to be in generally fair condition; however, several boards appear to be in poor condition as seen in **Image 21** of **Appendix A**. Stantec estimates that approximately 10% of the decking will need to be replaced within the next year, with the remainder recommended for replacement in the next 5 years. Due to the deck supporting the partial height walls above, the walls will likely need to be removed for the full deck replacement. The decking should be inspected annually, as part of regular maintenance, and any boards found to have major splits or rot pockets should be replaced. Nails that are found to be proud should be sunk down to reduce tripping hazards.

3.2.1.2 Stringers

At the western end of this portion of boardwalk, the deck boards are supported by timber stringers. The stringers are typically full dimensional pressure treated 6x12 members spaced at approximately 5' on center. The stringers are simply supported by the pile caps and the concrete strip foundation with structural steel hangers. Minor presence of organic growth is present on the stringers. Accessible stringers were sounded with a hammer and were found to be in generally good condition.

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3.2.1.3 Pile Caps

The pile caps are full dimensional pressure treated 6x12 members spanning approximately 10' between the piles, as seen in **Image 23** in **Appendix A**. The piles are notched to support the pile caps. At the west end of this portion of boardwalk, the timber stringers are supported by the pile caps with structural steel hangers. There is minor organic growth on the pile caps. At several locations the pile caps were sounded with a hammer were found to be in good condition.

3.2.1.4 Concrete Foundations

At the eastern side of this portion of the boardwalk, the timber stringers are supported by a concrete strip footing with structural steel hangers. For the remaining portion of section 6, the concrete strip footing supports the timber deck boards as seen in **Image 23** in **Appendix A**. The deck boards bear on a continuous nailer plate bearing on top of the concrete foundation. The anchorage of the nailer plate to the concrete strip footing was not visible. The concrete footing appears to have been directly cast on the existing soil and underlying rip rap. It appears that minor erosion is taking place at the east end of this strip footing which has caused minor undermining. The remainder of the concrete strip footing appears to be adequately protected by the existing rip rap. Stantec recommends that additional rip rap is added below the boardwalk at the south end to protect the existing subgrade from further erosion.

3.2.1.5 Piles

There is one row of piles spaced at approximately 10' on center supporting the pile caps. The piles are minimum 12" diameter and are notched at the top to support the pile caps. The pile caps bear on the notched surface and are thru bolted to the side of the pile as seen in **Image 24** of **Appendix A**. Roofing felt (or a similar product) has been installed between the notched pile and pile cap to protect the cut ends of the pile. The piles were visually inspected from below during low tide. There is minor marine growth on the pile below the water line. Accessible piles were sounded with a hammer. Sounding of the pile suggest that the piles are generally in good condition.

There is no bracing located in this section of the boardwalk.

3.2.1.6 Guardrails

The guardrail consists of three horizontal members and one 2x8 top rail spanning between 4x4 posts spaced at approximately 8' on center. The posts are connected with a standard two-bolt assembly to the pile cap below. It appears that the guardrails have been well maintained in recent years and components of the guardrail assembly have been replaced recently. The guardrail has been damaged in one location, as seen in **Image 21** in **Appendix A** and should be repaired. Annual inspections of the guardrails should be completed as part of regular maintenance and members found to have major splits or rot pockets should be replaced.

3.2.2 Section 7 – Over-Water Boardwalk

This portion of boardwalk is mainly located in front of the Grace Point private residences. The majority of the boardwalk construction appears to be similar to Section 6. A rock retaining wall was observed along the north side of the boardwalk, as seen in **Image 28** in **Appendix A**. It is unclear how this retaining wall was constructed; however, it

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appears it is not connected to the boardwalk structure. It is assumed that this wall is the property of the residential development and review of this retaining wall has not been included in the scope of this assessment.

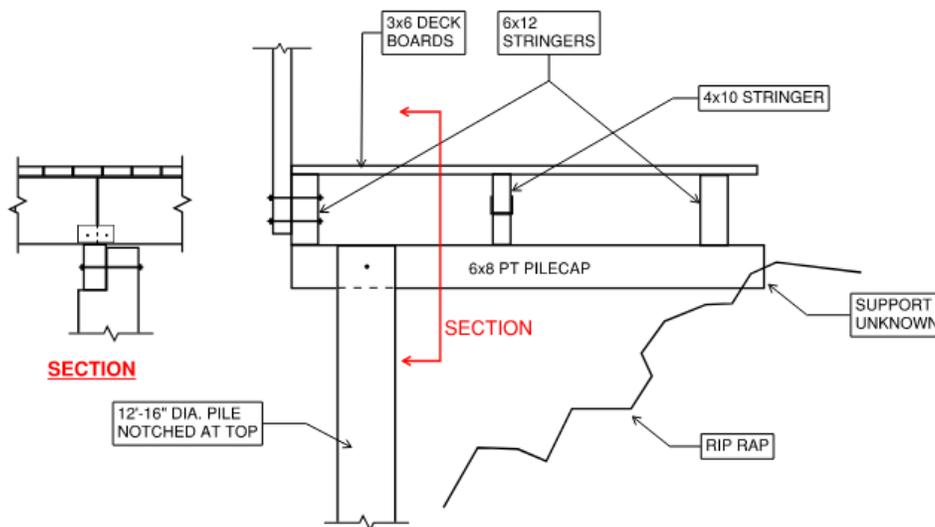


Figure 7 - Section 7 General Framing

3.2.2.1 Decking

The decking is comprised of 3x6 pressure-treated boards, spanning a maximum of approximately 4'. The deck boards are supported by 6x12 timber stringers. At approximately midspan, a 4x10 timber member is fastened to the underside of the deck boards. The member is supported by 4x4 timber blocking bearing on the pile cap, as seen in **Image 30** in **Appendix A**.

The decking appears to generally be in fair condition; however, Stantec estimates that approximately 10% of the deck boards are in very poor condition and require immediate replacement (as seen in **Image 26** of **Appendix A**). The decking should be inspected annually, as part of regular maintenance, and any boards found to have major splits or rot pockets should be replaced. Nails that are found to be proud should be sunk down to reduce tripping hazards.

3.2.2.2 Stringers

The stringers consist of 6x12 rough sawn, pressure-treated members spanning approximately 8'. The stringers are supported by pile caps below. The stringers were found to be in generally fair condition having heavy organic growth, however some stringers were found to be in poor condition due to rot as seen in **Image 30** in **Appendix A**. The north stringers (land side) are in constant contact with wet soil, a condition which will reduce the service life of these members. It is estimated that the north stringers only have a residual lifespan of approximately 5 years. Stantec recommends that the replacement of the north stringers should coincide with a full deck replacement. The remaining central and south stringers appear to be in fair to good condition with the minor presence of organic growth. These members should be reevaluated as part of a full deck replacement, as it is anticipated that a portion (estimate 25%)

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of the remaining stringers and pile cap members will need to be replaced at the time of the deck replacement (approximately 5 years).

3.2.2.3 Pile Caps

The pile caps are full dimensional pressure treated 6x8 members spanning approximately 7'. The pile caps are supported on the southern side by notched piles. The pile caps were found to be in generally fair condition with minor presence of organic growth. During the site visit, Stantec was unable to confirm how the pile caps are supported on the northern end. This support condition was obscured by debris and rip rap. Stantec recommends that further investigation of the pile caps be completed during the replacement of the north stringers and deck. It is likely that some of the pile cap members will need replacement during the deck replacement, as the north end of the pile caps are surrounded by the subgrade.

3.2.2.4 Piles

There is one row of piles spaced at approximately 10' on center supporting the pile caps. The piles are minimum 12" diameter. The piles are notched at the top where the pile caps bear. The pile caps are thru bolted to the side of the pile, as seen in **Image 29** in **Appendix A**. Roofing felt (or a similar product) has been installed between the notched pile and pile cap to protect the cut ends of the pile. The piles were visually inspected from below during low tide. There is minor marine growth on the pile below the water line. Accessible piles were sounded with a hammer. Sounding of the pile suggest that the piles are in good condition.

There is no bracing located in this section of the boardwalk.

3.2.2.5 Guardrails

The guardrail consists of three horizontal members and one 2x8 top rail spanning between 4x4 posts spaced at approximately 8' on center. The posts are connected with a standard two-bolt assembly to the pile cap below. It appears that the guardrails have been maintained in recent years and components of the guardrail assembly have been replaced recently, as seen in **Image 28** in **Appendix A**. Annual inspections of the guardrails should be completed as part of regular maintenance and members found to have major splits or rot pockets should be replaced.

3.2.3 Section 8 – Concrete Boardwalk

The furthest east portion of the Grace Point boardwalk is constructed from concrete. There were also no record drawings for this portion of the walkway and the general construction is unknown. The concrete deck slab appears to be in good condition; however, Stantec was unable to confirm if the deck slab is suspended or poured on grade. The visible portions of the concrete foundation wall appeared to be cast on existing bedrock; however, Stantec was unable to confirm if the wall is dowelled into the rock. The base of the foundation is located below the water line. Based on observation made onsite, the wall is experiencing minor undermining due to wave action. It is recommended that more detailed review of the wall be conducted to determine the extent of the damage and required remediations.

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3.3 SUMMARY OF FINDINGS

The table below summarizes the finding of the Centennial Park and Grace Point boardwalk condition assessment. Member sizes noted are the typical minimum member size for each section (actual member sizes were found to vary slightly).

The residual life estimates provided are a conservative estimate. If properly maintain, it can be expected that many of the components will have a longer service life than presented in the table. Residual life estimates should be updated with each detailed inspection (recommended at 5-year intervals for marine structures).

Table 1 - Summary of Findings

Item	Component Description	Condition	Damage/ Comments	Residual Life	Recommendation
Centennial Park Boardwalk					
Section 1 – Timber Approach					
Concrete Footing	Continuous Concrete Strip Footing	Poor	-Severe undermining	1 year	Underpin concrete foundations -Detailed Inspection at 5-year cycle
Piles	9"-16" dia. Creosote-Treated Timber	Fair to Good		10 years	-Detailed Inspection at 5-year cycle
Braces	4x8 Creosote-Treated Timber	Good		15 years	-Detailed Inspection at 5-year cycle
Pile Caps	10x16 Pressure-Treated Timber	Poor	- Appear to be repurposed timber - Significant rot found on site	2 years	Replace pile caps and 10x16 timber blocking
Decking	3x6 Pressure-Treated Timber	Poor to Fair	- Several deck boards with rot pockets and severe checking	2 years	-Replace all deck boards -Maintenance Inspection annually -Detailed Inspection at 5-year cycle
Guardrails	Pressure-Treated	Fair		2 years	-Maintenance Inspection annually -Detailed Inspection at 5-year cycle
Section 1 – Above Water Gazebo Superstructure					
Floor Beams	4x10 Pressure-Treated Rough Sawn	Very Poor	-East edge beam has severe rot and is failing causing gazebo structure to list	0 years	-Replace beam immediately. -Detailed Inspection at 5-year cycle
Stringers	4x10 Pressure-Treated Rough Sawn	Fair	-Supported by beams with lag bolts	5 years	-Install steel hangers each end of stringers. This work should be completed at the same time the failing floor beam is replaced.

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Item	Component Description	Condition	Damage/ Comments	Residual Life	Recommendation
					-Detailed Inspection at 5-year cycle
Decking	3x8 Pressure-Treated	Fair	-Several deck boards with rot pockets and checking	2 years	-Maintenance Inspection annually -Detailed Inspection at 5-year cycle
Posts	4x4 Pressure-Treated	Fair to Good		10 years	-Detailed Inspection at 5-year cycle
Roof Beams	4x10 Pressure-Treated Rough Sawn	Fair to Good		10 years	-Detailed Inspection at 5-year cycle
Roof Joists	2x8 Pressure-Treated Rough Sawn	Poor to Fair	-Outrigger portions of ridge beams have moderate to severe rot	2 years	-Cut outriggers flush with roof (4 total) and flash beam ends -Detailed Inspection at 5-year cycle
Cedar Shakes		Poor		2 years	-Replace cedar shakes
Section 2 – Park Gazebo					
Posts	6x6 Pressure-Treated	Good		10 years	-Detailed Inspection at 5-year cycle
Lower Roof Beams	6x10 Pressure-Treated Rough Sawn	Good		10 years	-Detailed Inspection at 5-year cycle
Upper Roof Beams	6x6 Pressure-Treated Rough Sawn	Fair (Outrigger Very Poor)	-Outrigger portion of upper roof beams have severe rot	2 years	-Cut outriggers flush with edge of roof (12 total) and flash beam ends -Detailed Inspection at 5-year cycle
Roof Joists	2x8 Pressure-Treated Rough Sawn	Good		10 years	-Detailed Inspection at 5-year cycle
Cedar Shakes		Poor		2 years	-Replace cedar shakes
Section 3 – Over-Water Boardwalk					
Concrete Footing	Continuous Concrete Strip Footing	Fair	-Severe undermining	1 year	-Underpin concrete footings -Add rip rap below boardwalk to protect concrete -Detailed Inspection at 5-year cycle
Piles	9"-16" dia. Creosote-Treated Timber	Fair to Good		10 years	-Detailed Inspection at 5-year cycle
Braces	4x8 Creosote-Treated Timber	Good		15 years	-Detailed Inspection at 5-year cycle
Pile Caps	10x16 Pressure-Treated Timber	Fair	- Appear to be repurposed timber. - Areas of minor rot	10 years	-Detailed Inspection at 5-year cycle
Stringers	4x10 Pressure-Treated Timber	Good		10 years	-Detailed Inspection at 5-year cycle

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Item	Component Description	Condition	Damage/ Comments	Residual Life	Recommendation
Decking	3x6 Pressure-Treated Timber	Poor to Fair	-Several deck boards with severe rot pockets and severe checking	5 years	-Replace damaged deck boards (approx. 20%) within 1 year. Full deck replacement within 5 years -Maintenance Inspection annually -Detailed Inspection at 5-year cycle
Guardrails	Pressure-Treated	Fair		3 years	-Maintenance Inspection annually -Detailed Inspection at 5-year cycle
Section 4 & 5 – Boardwalk on Grade					
Concrete Footing	Continuous Concrete Strip Footing	Poor	-Severe undermining	2 years	-Demolish and replace concrete footings -Detailed Inspection at 5-year cycle
Decking	3x6 Pressure-Treated Rough Sawn	Poor to Fair	-Several deck boards with rot pockets and severe checking	2 years	-Replace damaged deck boards (approx. 10%) within 1 year -Full deck replacement to coincide with footing replacement -Detailed Inspection at 5-year cycle
Guardrails	Pressure-Treated	Fair		2 years	-Full guardrail replacement to coincide with footing replacement -Detailed Inspection at 5-year cycle
Grace Point Boardwalk					
Section 6 – Storefront Over-Water Boardwalk					
Concrete Footing	Continuous Concrete Strip Footing	Fair	-Minor undermining	5 years	-Add rip rap to protect concrete foundation within 2 years -Remove brush/debris from below boardwalk -Detailed Inspection at 5-year cycle
Piles	Nom. 12" dia. Creosote-Treated Timber	Fair to Good		10 years	-Detailed Inspection at 5-year cycle
Pile Caps	6x12 Pressure-Treated Timber	Fair to Good		10 years	-Detailed Inspection at 5-year cycle
Stringers	6x12 Pressure-Treated Timber	Fair to Good		10 years	Detailed Inspection at 5-year cycle
Decking	3x6 Pressure-Treated Timber	Poor to Fair	-Several deck boards with severe rot pockets and checking	5 years	-Replace damaged deck boards (approx. 10%) immediately

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Item	Component Description	Condition	Damage/ Comments	Residual Life	Recommendation
					-Maintenance Inspection annually -Detailed Inspection at 5-year cycle
Guardrails	Pressure-Treated	Fair		5 years	-Maintenance Inspection annually -Detailed Inspection at 5-year cycle
Section 7 – Over-Water Boardwalk					
Piles	Nom. 12” dia. Creosote-Treated Timber	Fair to Good		10 years	-Detailed Inspection at 5-year cycle
Pile Caps	6x8 Pressure-Treated Timber	Fair	-North support condition of pile cap unknown	5 years	-Assess condition of pile cap during full deck replacement (5 years) -Detailed Inspection at 5-year cycle
Stringers	6x12 Pressure-Treated Timber	Fair to Good	-North stringer in fair condition	5 years	-replace north stringers during full deck replacement (5 years) -Detailed Inspection at 5-year cycle
Decking	3x6 Pressure-Treated Timber	Poor to Fair	-Several deck boards with rot pockets and severe checking	5 years	-Replace damaged deck boards (approx. 10%) -Replace all deck boards in 5 years -Maintenance Inspection annually -Detailed Inspection at 5-year cycle
Guardrails	Pressure-Treated	Fair		5 years	-Maintenance Inspection annually -Detailed Inspection at 5-year cycle
Section 8 – Concrete Walkway					
Concrete Foundation Wall	Unknown	Fair to Good	-Foundation is scouring at base below water line -Only visible portion reviewed -Further investigation required to confirm structural system	2 year	-Underpin foundation -Detailed Inspection at 5-year cycle
Concrete Slab	Unknown	Good	-Only visible portion reviewed -Further investigation required to confirm structural system	10 years	-Detailed Inspection at 5-year cycle
Guardrails	Timber	Good		5 Years	-Maintenance Inspection annually

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Item	Component Description	Condition	Damage/ Comments	Residual Life	Recommendation
					-Detailed Inspection at 5-year cycle

4.0 OPINION OF COST

Stantec has provided an 'Opinion of Cost' estimate for the recommended remediation to the Centennial Park and Grace Point boardwalks. A complete breakdown of the cost estimate has been included in **Appendix B**.

5.0 PERMITS/ ACCESS RIGHTS

Stantec conducted a cursory review of the permits and access rights required to conduct the recommended remediations to the boardwalk structures. The boardwalks are located on several different land parcels, as seen in the figure below. The Centennial boardwalk is located on Regional Government land and provincial crown land. The Grace Point boardwalk appears to be located on provincial crown land and an existing right-of-way.

The remedial work for the boardwalks includes topside work which is considered to be maintenance and is not anticipated to require any permits. The recommended below deck work may also be considered as maintenance work and may not require any permits; however, Stantec recommends that the following regulatory bodies are consulted with once engineered repair drawings have been created to determine if permits/ authorization is required:

- Crown Land Authorization
- DFO permit/ authorization
- Development Permit for DPA3 (Shoreline)
 - The Islands Trust Community Official Plan Bylaw notes that shore stabilization requires a development permit for the shoreline work. Stantec is recommending that rip rap be added in areas in order to prevent further erosion and damage to foundations. The addition of rip rap may require a development permit.

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Figure 8 - Crown Land boundaries (CRD maps)

5.1 ENVIRONMENTAL AND ARCHAEOLOGICAL DISCUSSION

Centennial Park is an artificially constructed waterfront area. The original shoreline was located along Fulford-Ganges Road. The land boundary was extended up to 75m from where the original shoreline was located and consists of approximately 3m of fill on top of the existing beach sands. The figure below is an aerial view of Ganges Harbour taken in 1932. The image is part of an archeological investigation report of the Ganges area completed in 2018 (AOA Study of CRD's Centennial Park Master Plan's Phase I-V Implementation, Ganges, Salt Spring Island, B.C., 2018). The yellow line indicates the present-day location of Centennial Park, located entirely within the artificially constructed shoreline. The red line on the image indicates the current archaeological site boundary; the boundary excludes all of the Centennial Park Boardwalk and at least part of the Grace Point boardwalk.

The work required to be completed along the north-eastern end of Grace Point boardwalk (location that may fall within archaeological boundary), is minimal and mostly consists of work considered as "maintenance". The one exception may be the underpinning work for the existing concrete boardwalk (east end of Grace Point).

For the remedial phase of this project, Stantec recommends that an environmental engineer assess the site to confirm that there are no concerns with the proposed work. At this point, an environmental engineer can provide further guidance on regulations and restrictions that need to be followed for construction within the shoreline area.

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Figure 9 - Aerial Photo of Ganges Harbour (AOA Study of CRD's Centennial Park Master Plan's Phase I-V Implementation, Ganges, Salt Spring Island, B.C., 2018)

6.0 RECOMMENDATIONS

Stantec completed a condition assessment of the existing Centennial Park and Grace Point boardwalks. Stantec recommends that subsequent condition assessments take place at 5-year intervals.

The boardwalks are currently in use by the public. There is limited information available regarding the construction and age of the structures. Stantec did not complete a load rating of the boardwalk structures; however, it should be noted that these boardwalks have been constructed for "light-duty" pedestrian loading due to the relatively long-spans used for the deck board construction. Vehicle and assembly loading is not recommended for these structures. Stantec reviewed the structures and estimated the residual life of the structural members (refer to **Table 1**). Stantec has also provided an 'Opinion of Cost' estimate for boardwalk elements requiring repair or replacement within the next 5 years, a cost breakdown is included in **Appendix B**.

Stantec is recommending that several boardwalk elements be repaired or replaced immediately or within the next year, as discussed below. It is recommended that topside work and below deck brush clearing work is completed by CRD maintenance staff. The below deck work (timber replacements and foundation underpinning) is recommended to be completed under the guidance of a structural/ marine consultant.

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6.1 CENTENNIAL PARK BOARDWALK

For the purpose of this assessment, the Centennial Park boardwalk has been considered in five sections (1,2,3,4,5), as seen in **Figure 1**. In 2009, Ryzuk assessed portions of the Centennial Park boardwalk and provided remedial recommendations. During the site review, Stantec observed that some of the Ryzuk recommendation had been completed. However, Stantec found that some of the issues have persisted and require further remediation. Excluding the over water gazebo (section 1) which is currently blocked off from the public, the boardwalk assessed was in-use at the time of the assessment.

Section 1 of the boardwalk, including the timber approach and over water gazebo had several issues that are recommended to be addressed as soon as possible:

- Immediately replace the east 4x12 timber beam that is currently failing.
- Replace pile caps and 10x16 timber blocking.
- Replace approach deck boards.
- Cut the 2x6 outrigger ridge members flush with the edge of the roof, provide flashing at the member ends to avoid further moisture damage.
- Replace the gazebo cedar shake roof.

Section 2 consists of the park gazebo and was found to be in good condition; however, Stantec recommends the following issues are addressed within the next two years:

- Cut the 6x6 outrigger members from the lower and upper roof (12 total) flush with the edge of the roof. Provide flashing at the member ends to avoid further moisture damage.
- Replace the upper and lower gazebo cedar shake roof.

Section 3 of the boardwalk consists of the over-water portion east of the park gazebo. This portion of the boardwalk appears to be in generally fair condition; however, the concrete foundations are in poor condition due to undermining. Stantec recommends that the following issues be addressed within the next year:

- Replace approximately 20% of deck boards in poor condition.
- Underpin the concrete strip footings for the extent of Section 3.
- Add rip rap below the boardwalk to provide protection for underpinned footings.

Sections 4 and 5 of the boardwalk are located at grade, supported by concrete strip footings. The footings are severely undermined, and the deck boards are nearing end of life. Stantec recommends that these portions of boardwalk be removed and replaced within the next two years.

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6.2 GRACE POINT BOARDWALK

For the purpose of this assessment, the Grace Point boardwalk has been considered in three sections (sections 6,7,8), as seen in **Figure 1**. There is no record of these portions of boardwalk being reviewed in the past.

Section 6 of the boardwalk is the furthest west portion of the Grace Point boardwalk. The boardwalk is used by the adjacent businesses. Stantec recommends that the following issues be addressed within the next year:

- Immediately replace approximately 10% of deck boards in poor condition.
- Add rip rap below the boardwalk to provide protection for the small portion of foundation requiring underpinning.
- Remove ferns, tree roots and bramble from below the structure prior to adding new rip rap.

Section 7 of the boardwalk is the eastern, timber portion of the Grace Point boardwalk, located adjacent to private properties. Stantec recommends that the following issues be addressed within the next year:

- Immediately replace approximately 10% of deck boards in poor condition. Stantec recommends a full deck replacement in the next 5 years, including replacement of the north stringers and further review of the remaining below deck timber components.

Section 8 is the concrete portion of the walkway located furthest east. Stantec recommends that the following issues be addressed within the next year:

- Underpin the concrete foundation for the extent of section 8.

APPENDIX A: PICTURE APPENDIX

Appendix A ASSESSMENT PHOTOS



Image 1 – Section 1: General view of Boardwalk approach and gazebo



Image 2 – Section 1: (a) Concrete abutment and (b) rotten member



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Image 3 – Section 1: General view of framing from underside of approach



Image 4 -Section 1: General view of gazebo structure listing to the left



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Image 5 – Section 1: (a) General view of gazebo superstructure (b) General view of decking and guardrail



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Image 6 - Section 1: (a) Failing edge beam in very poor condition (b) General view of 2x6 outrigger in poor condition.



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Image 7 - Section 2: (a) General view of park gazebo (b) General view of gazebo framing



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Image 8 - Section 2: (a) General view of outrigger in poor condition (b) General view of concrete slab

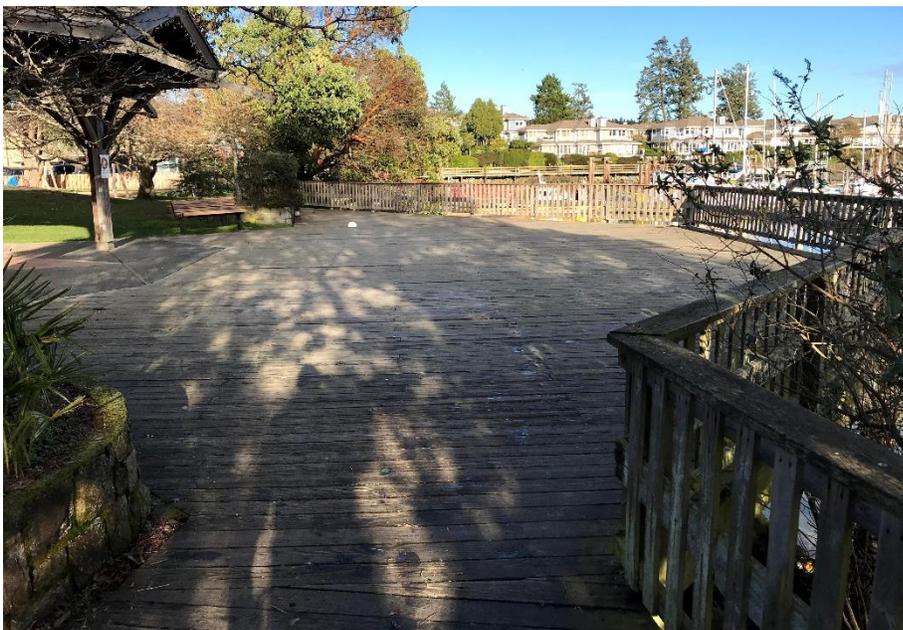


Image 9 - Section 3: General view of pile supported boardwalk



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Image 10 - Section 3: (a) Typical condition of boardwalk deck (b) General view of guardrail (note: guardrail leans outwards)



Image 11 - Section 3: General view at underside of pile supported boardwalk



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Image 12 - Section 3: (a) View of 10x16 pile cap with areas of rot at underside (b) Typical view of undermined footing



Image 13 - Section 3: General view of previous foundation underpinning and formwork still in place



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Image 14 - Section 4: (a) General view of boardwalk at grade (b) Typical condition of decking



Image 15 - Section 4: General view of undermined foundation



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Image 16 - Section 5: (a) General view of boardwalk at grade (b) Typical condition of boardwalk decking



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Image 17 - Section 5: (a) Uneven deck due to unstable concrete footings below (b) General view of guardrail



Image 18 - Section 5: Significant undermining of concrete strip footing



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Image 19 - Section 6: General view of pile supported boardwalk



Image 20 - Section 6: General view of partial height walls and post supported on decking



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Image 21 - Section 6: (a) Deck board in very poor condition (b) Guardrail, typical for extent of boardwalk (note: repair required at corner)



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Image 22 - Section 6: Wood column, no support below deck (b) Concrete pile footing (2 total)



Image 23 – Section 6: General view of boardwalk framing from underside



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Image 24 – Section 6: Notched pile supporting pile cap



Image 25 – Section 6: Cantilevered deck over pile cap



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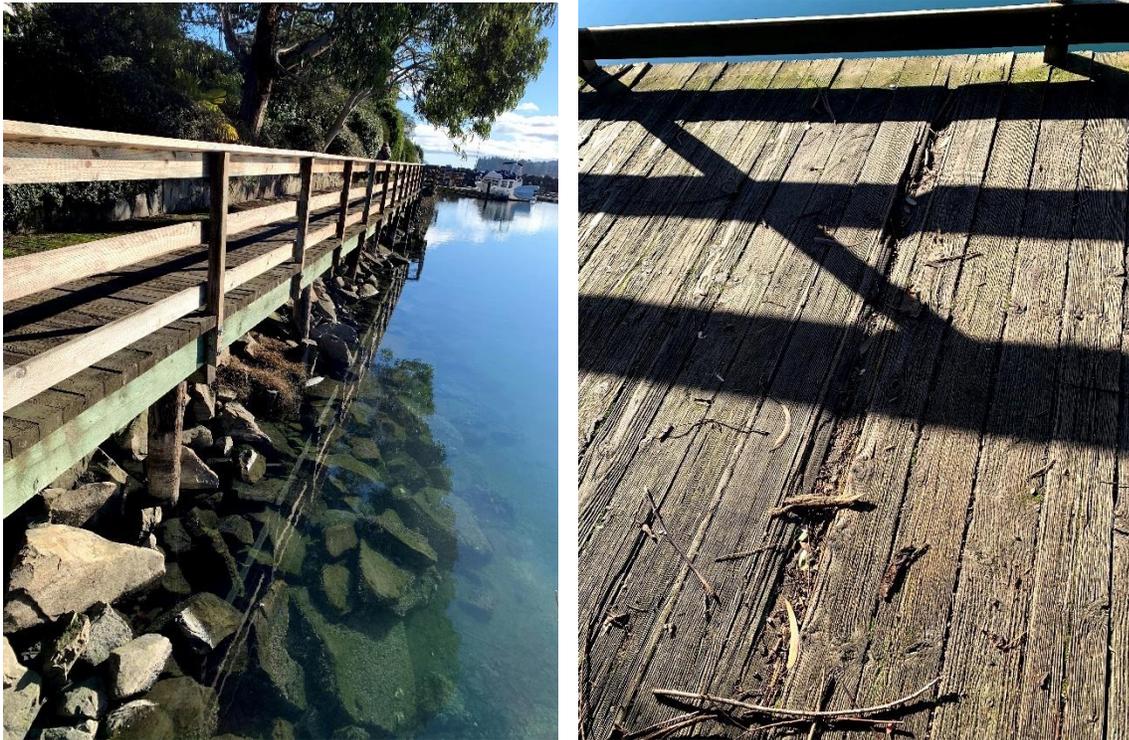


Image 26 - Section 7: (a) General view of boardwalk (b) Deck boards in very poor condition

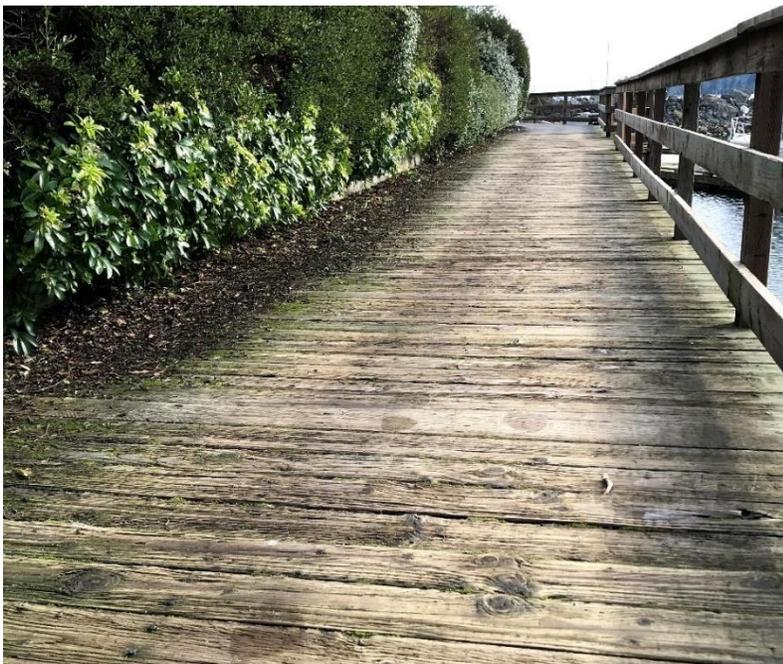


Image 27 - Section 7: Bushes overhanging deck, fallen organic matter is contributing to accelerated decay of the deck boards



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Image 28 - section 7: (a) General view of guardrail (b) General view of rock retaining wall at north side of boardwalk



Image 29 - Section 7: General view from underside of boardwalk



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Image 30 - Section 7: View of central support, Stringer support condition unknown at north end

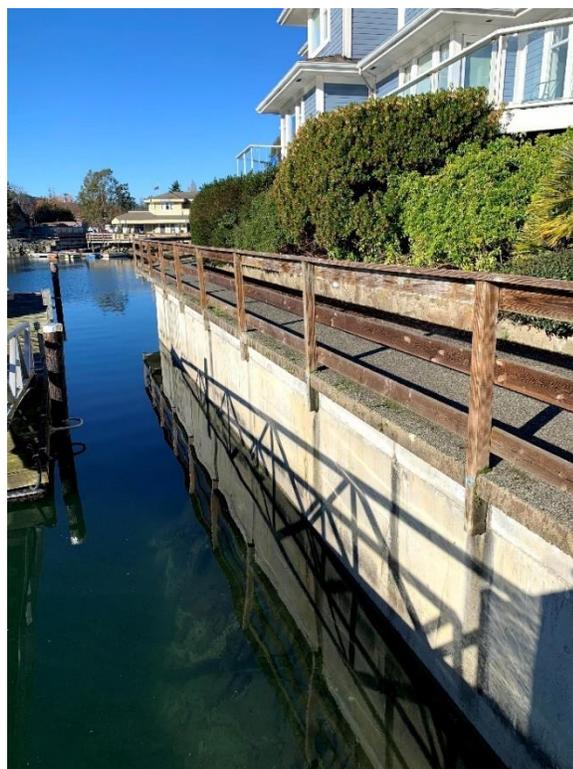


Image 31 - Section 8: (a) General view of concrete walkway deck (b) General view of concrete foundation wall



OPINION OF COST (STANTEC)

Appendix B OPINION OF COST

Opinion of Probable Cost – Capital Regional District

Project Name: Centennial and Grace Point Boardwalks
 Estimate Type: Class D: Opinion of Probable Cost
 Prepared For: Capital Regional District
 Date: 9-Mar-21

Remediation	Component Description	Component Condition	Residual Life	Quantity	Unit	Rate	Cost (2021 \$)	Comments	Image Reference (Appendix A)
Centennial Park Boardwalk									
Section 1 - Timber Approach and Above Water Gazebo Structure									
Underpin Concrete Foundations	CIP Concrete	Poor	1 Year	4	m	\$ 2,500.00	\$ 10,000.00		2
Replace Deck	3x6 PT	Poor to Fair	2 year	28	m ²	\$ 200.00	\$ 5,600.00		5
Replace End Beam add steel hangers for stringers	4x12 PT	Very Poor	Immediate	1	per	\$ 10,000.00	\$ 10,000.00	Existing beam has failed, causing listing in the gazebo structure. Temporary support and leveling deck included in cost	4,6
Replace Pile Caps and 10x16 timber blocking	10x16 PT	Fair	2 year	2	per	\$ 5,000.00	\$ 10,000.00	Significant rot found in both pile caps and 4x12 cross member	2, 3
Replace Guardrails	Pressure-Treated	Fair	2 years	15	m	\$ 250.00	\$ 3,750.00		5
Replace Roof	Cedar Shake	Poor	2 years	20	m ²	\$ 160.00	\$ 3,200.00		1,6
Cut Back and Flash Outriggers		Fair	2 years	4	per	\$ 300.00	\$ 1,200.00	Cut back outriggers and protect exposed timbers with flashing	6
Section 2 - Park Gazebo									
Replace Roof	Cedar Shake	Fair	2 years	75	m ²	\$ 160.00	\$ 12,000.00		7
Cut Back and Flash Outriggers		Fair	2 years	12	per	\$ 300.00	\$ 3,600.00	Cut back outriggers and protect exposed timbers with flashing	7,8
Section 3 - Over-Water Boardwalk (East of Park Gazebo)									
Underpin Concrete Foundations	CIP Concrete	Poor	1 Year	25	m	\$ 2,500.00	\$ 62,500.00		12,13
Add Rip Rap	0.5m x 0.5m min	Fair	1 Year	25	m ³	\$ 300.00	\$ 7,500.00	To protect concrete repairs	
Replace Deck Boards	3x6 PT	Fair to Poor	1 year	26	m ²	\$ 200.00	\$ 5,200.00	20% of boards to be replaced now	10
Replace Entire Deck	3x6 PT	Fair to Poor	5 years	104	m ²	\$ 200.00	\$ 20,800.00	80% of boards to be replaced within 5 years	10
Replace Guardrails	Pressure-Treated	Fair	3 years	25	m	\$ 250.00	\$ 6,250.00		10
Section 4 & 5 - Boardwalk on Grade									
Replace Boardwalk	PT Timber supported by concrete piers	Fair to Poor	2 years	140	m ²	\$ 1,500.00	\$ 210,000.00	Existing foundations are undermined for large portions. Replacement is preferable to repairing. Deck is in poor condition	14,15,16,17,18
Centennial Park Subtotal							\$ 371,600.00		
Grace Point Boardwalk									
Section 6 -Storefront Over-Water Boardwalk									
Clear brambles, ferns, and tree roots		Fair	1 Year	1	per	\$ 5,000.00	\$ 5,000.00		23
Add Rip Rap	0.5m x 0.5m min	Fair	2 Years	4	m ³	\$ 300.00	\$ 1,200.00	To protect south-west corner	
Replace Failed Deck Members	3x6 PT	Poor	Immediate	19	m ²	\$ 200.00	\$ 3,800.00	10% deck members need immediate replacement	21
Full Deck Replacement	3x6 PT	Fair	5 years	57	m ²	\$ 250.00	\$ 14,250.00	Partial height walls to be removed and replaced	21
Section 7 - Over -Water Boardwalk									
Replace 6x12 Stringers		Fair	5 years	106	m	\$ 150.00	\$ 15,900.00	Existing member needs to be replaced due to continuous contact with subgrade	29,30
Replace Failed Deck Members	3x6 PT	Poor	Immediate	19	m ²	\$ 200.00	\$ 3,800.00	10% deck members need immediate replacement	26
Full Deck Replacement	3x6 PT	Fair	5 years	133	m ²	\$ 200.00	\$ 26,600.00		26, 27
Section 8 - Concrete Walkway									
Underpin Concrete Foundations	CIP Concrete	Poor	3 Years	30	m	\$ 2,500.00	\$ 75,000.00	To protect east end wall foundation from scouring	31
Grace Point Subtotal							\$ 145,550.00		
Additional Costs									
							Engineering (10%)	\$ 51,715.00	
							Contractor Overhead, Mob./ Demob. Profit (20%)	\$ 103,430.00	
							Contingency (30%)	\$ 155,145.00	
							Total Cost	\$827,440.00	

Notes:

Limits of Commission: Stantec does not guarantee the accuracy of these opinions of probable cost and shall have no liability where the probable costs are exceeded.

**Grace Point Strata Meeting With the CRD, Parks, SSIPARC, and LCC
(February 18, 2025, at 11:00am)**

Participants:

Gary Holman, CRD Director for Salt Spring Island
 Dan Ovington, SSIPARC Manager, CRD
 Earl Rook, LCC
 Geoffrey Oestreicher, President, Grace Point Strata Council
 Susan Close, Vice President, Grace Point Strata Council
 Robert Jones, Grace Point Strata Council
 Gillean Proctor, Grace Point Strata Council
 Tom Toynbee, Grace Point Strata
 Jennifer Mycyk Oestreicher, Grace Point Strata

This meeting was initiated at the request of the Grace Point Strata Council.

Issues

We, the residents of Grace Point Strata representing twenty-one tax-paying households, are concerned that the situation and conditions on the boardwalk and path (these being the CRD-controlled Right of Way (ROW)), as well as the beach which is frequently accessed via the ROW, has deteriorated to the point where the deterioration is significantly affecting our financial investments, physical safety, and our right to enjoy and use our property.

This deterioration has come in two broad forms: the first is the physical deterioration of the condition of the boardwalk and ROW path along the ocean out to Grace Point—to a level that we believe is dangerous for the general public.

The second is the changing nature of population that uses the Right of Way (ROW) resulting in a rise in the number of complaint calls to the CRD bylaw office and the RCMP, as well as direct threats to the safety of Grace Point residents—these include abusive language, stalking, and rape threats.

We would also note that the Right of Way (ROW) is used by some individuals for access not only to the beach and to the point, but also to Grace Islet, which is meant to be off limits due to its importance to First Nations groups as a culturally significant space. Such violations have ranged from fires, camping, and free-roaming dogs among the First Nations' burial cairns on the islet to illegal logging.

First issue—physical deterioration of the path and boardwalk

The ROW agreement obligates the CRD to maintain the boardwalk and the path along the ocean in a safe condition. We would argue that this has not been done, and conditions have deteriorated

significantly. Also, the standard of what a safe condition means has evolved over time, while the level of maintenance carried out by the CRD has not kept pace. We believe this has resulted in a situation where the general public has been put in jeopardy in that the path is no longer safe for pedestrian traffic.

The Strata recently commissioned a geotechnical survey from Ryzuk Geotechnical. This survey, in part, assessed the condition of the seawall upon which a large portion of the CRD ROW path runs. This survey has been shared the SSIPARCs and the CRD. While the survey noted erosion in the mortar of the seawall as well as the presence of small sinkholes, it did not determine there was immediate danger. It did note, however, that the level of degradation could change rapidly.

“[T]here are aspects of the wall which appear to be degrading: several gaps in the wall base and along its base, as well as depressions and small sinkholes along the pathway above the wall backfill. The degradation of the seawall and its backfill may accelerate as more void spaces are opened up, especially when considering that future climate change is expected to cause the sea level to rise and more intense storms to occur. ... Delaying remediation of the seawall could result in the repair becoming more comprehensive, difficult, or possibly the need for complete reconstruction. (page 4)”

As we explained in our letter of January 6, 2025, intense storms and unusually high tides this year appear to have rapidly degraded the seawall. These opened at least two large sinkholes, extending across the path, measuring about a meter deep each and 1 to 1.5 feet wide. The void of these sinkholes extended through to the seawall and the backfill of the seawall was being washed away through these voids by the high tides and storm surges. In short, the seawall was being rapidly undermined. Additionally, a large pothole right on the cliff edge of the path appeared due to the collapse of the top edge of the seawall. This pothole/depression was about a metre wide.

Despite some patchwork repairs carried out by the CRD in mid-January, given such a rapid deterioration in the integrity of the sea wall, we feel it is not unreasonable to expect that portions of the structure will continue to collapse, quite possibly while some member of the public is walking on it. The CRD did not follow the repair recommendations outlined in the geotechnical report, instead electing to “plug” the sinkholes with concrete. This does not solve the issue of why the holes appeared (mortar erosion) and further, as the Ryzuk report clearly states, using a concrete plug will likely result in erosion, hour-glassing and migration.

In addition to the developments described above, the Strata remains concerned about the safety of the rest of the path. We note that the path beyond the beach to the point is, in places, barely eight inches wide, skirts a steep cliff with a sheer drop of up to five metres, and is on a significant angle both laterally and horizontally. There are no safety rails, barriers, or warnings in place, and wet weather conditions make it very slippery. By any reasonable safety standard, this path is very dangerous and its use in its present condition puts the public at risk. Given these developments, the Strata is concerned about the continued use of the path by the public, as we believe the underlying safety risk has increased to an unacceptable level. This may, potentially, expose the

Strata to liability risks, and definitely exposes the CRD to such risk as they have explicitly accepted liability under the terms of the ROW.

Second issue — Increase in inappropriate, disturbing, and dangerous behaviours

We would like to start this section with a recognition that the ROW and the beach have always been public spaces. Over the years, residents of Grace Point have been privileged to live at this location and to interact with the public using the ROW. In recent years, however, the type of visitor has changed. Whereas before it would be mainly tourists and long-time Salt Spring residents, the area is now frequently used as a gathering place for the rough housed who use the ROW and beach to hold loud, disruptive gatherings characterized by excessing drinking, drug use, shouting, dangerous open fires, and physical fighting, all accompanied by groups of loud and uncontrolled dogs. The area is also used as a location to dispose of garbage and even as an ad hoc latrine, complete with a roll of toilet paper on a stick. This new element has basically taken over the area, as other members of the public usually avoid the area. Not only does this disadvantage Grace Point residents, but it also has the effect of unfairly denying the beach to law-abiding Salt Spring residents and visitors.

There are three more points worth noting in this regard:

- These gatherings are not confined to the beach but frequently spill out over to the path which is part of the right of way (ROW) that the Strata granted to the CRD decades ago. It is therefore incumbent on CRD to affect some remediation measures as the ROW agreement confers an obligation on the CRD to manage the area so that the public's safety is not put in jeopardy. We would note again that the CRD has formal accepted legal liability for incidents that happen on the ROW, which means they could incur substantial costs should their inaction result in harm to members of the public.
- Three of our residential units are situated directly above the beach only a few feet from the path and so are seriously affected by the shouting, smoking, and fighting going on just below. This disruption has reached the point where their right to quiet enjoyment of their property is seriously affected.
- This deteriorating situation has also led to an unambiguous fall in property values of the three affected units, and at least one member of the Strata who is in the process of selling their unit is likely to incur a significant financial loss. Long-time real estate professionals operating on Salt Spring and involved in the sale of Grace Point properties are on record as saying that the situation on the beach—and possibly by implication the CRD's unwillingness to address it—is acting as a real impediment to the sale of the affected units, despite asking prices being substantially reduced from comparable units located outside the affected beach area.

Recommended Actions

Given the situation described above, and the threats posed by the current situation, we would strongly recommend the following actions:

1. The CRD should immediately shut down access to the path beyond the boardwalk until such time as the CRD can maintain and repair the path and the seawall. We would also strongly encourage the CRD not to open it again until they have installed proper steps and effective safety features including handrails and barriers along this dangerous path to provide safety and limit liability.

This could be done by **installing a secure gate across the path just before the beginning of the beach**. Grace Point Strata would be willing to foot the cost of such a structure although, given the terms of the ROW, the actual construction should be carried out by the CRD.

2. We note that the ROW agreement provides for public access to the point. However, it does not provide for public access from the ROW to the beach. And it is the existence of access from the path to the beach that is giving rise to all the security difficulties being experienced by Grace Point residents.

An alternative solution would be the installation of a fence above the high tide mark to prevent access to the beach from the path. This would be consistent with the ROW agreement and would also maintain access to the beach from sea, which is the norm in our province. However, such a fence would then provide adequate security for our residents. Again, the strata would be willing to finance this construction, although it should be carried out under the aegis of the CRD.

We are aware that the construction of a fence may be complicated by the area being archeologically sensitive. However, as the CRD's recent filling in of sink holes demonstrated, adherence to this sensitivity would be consistent with the drilling of one or two fence post holes—we feel there is now a clear precedent for this. Alternatively, we could explore a design where the fence hangs from posts drilled on strata property.

3. Another alternative remedial measure would be for the CRD to use its good offices to persuade the RCMP to adopt a no-tolerance policy towards drinking and other inappropriate activity on the beach and the ROW. It is likely that once such activity begins to be shut down immediately and consistently, that the location of such activity will shift to other more appropriate areas.

(We would note, in regard to the first two recommendations above, that instead of access to town via Grace Point beach, there is more than enough access for those living in the harbour through the HASSI dinghy dock or via the beach at Gasoline Alley—also known as

Propane Beach. Neither of these are residential areas and so do not pose the same conflict risks.)

4. It would also be helpful if the CRD were to officially announce that the beach and the path are officially open only from 6 am to 6 pm each day. Establishment and posting of clear and unambiguous time limits would make enforcement more efficient and easier to implement.
5. Should the erosion problem accelerate again, it might be appropriate to consider a riprap solution to preserve the coastline. It is our understanding that this is considered a possible solution for erosion control and would also serve to protect the area's archeological significance. Grace Point Strata would be willing to consider financing such an effort.

We believe all these measures, or a combination of some, would be effective in improving the current situation without imposing an undue financial burden on the CRD, which we understand is undergoing some budgetary challenges. We would, therefore, urge you to consider these as a matter of some priority. We would also note that should the CRD prefer to devolve responsibility in these areas to the Grace Point Strata by returning to us the ROW, we might be open to considering this—although that would require an in-depth consultation with our members.

Thank you for taking the time to meet with us and for treating our concerns with the seriousness they deserve.

The Grace Point Strata Council, on behalf of Grace Point Strata Members



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**REPORT TO SALT SPRING ISLAND LOCAL COMMUNITY COMMISSION
MEETING OF THURSDAY, FEBRUARY 19, 2026**

SUBJECT **Business License Feasibility Study on Salt Spring Island**

ISSUE SUMMARY

To consider the feasibility of implementing business licences on Salt Spring Island (SSI).

BACKGROUND

At the March 13, 2025, meeting of the SSI Local Community Commission (LCC) the following motion was passed.

“That the Salt Spring Island Local Community Commission (LCC) request staff to update the 2022 feasibility analysis of business licencing on Salt Spring Island.”

A feasibility analysis of business licensing on Salt Spring Island has been awaiting the receipt of an analysis of short-term rental (STR) data that was recently completed by the Southern Tourism Partnership Society in January 2026. A full feasibility analysis of business licenses has not yet been completed. Previously on February 9, 2022, the Electoral Areas Committee (EAC) received a report (Appendix A) on the regulation of vacation rentals on the Southern Gulf Islands and SSI. The report provided information on the regulatory tools available to local governments to regulate vacation rentals in residential zones by way of zoning bylaws, temporary use permits, and business licensing, all of which can be enforced by ticketing, fines, or court-issued injunction.

On July 13, 2022 EAC received an additional report on Speculation and Vacancy Tax (Appendix B) that outlined the financial implications noting that a business license function for SSI would require new funding for administration, overhead and a part-time bylaw enforcement officer. There would also be additional legal costs for court proceedings to enforce against businesses operating without a license, or to respond to administrative court challenges where a business license is revoked or suspended. Enforcement proceedings would be necessary to ensure the regulatory authority is upheld and complied with.

Short-term vacation rentals on Salt Spring Island are currently regulated through the Islands Trust Land Use Bylaw. Once a vacation rental use is permitted, Islands Trust has limited authority over how that use is managed on an individual property, aside from regulating it through a temporary use permit or other case-by-case conditions. In these situations, business licences become a valuable tool to support zoning compliance by ensuring that only appropriate types of businesses operate within designated areas.

The benefit of Business Licensing has been identified to include:

- Ensure zoning rules, safety standards, and local bylaws are followed.
- Build trust with customers, partners and regulators
- Reduce risk and assist in protecting the public.
- Assist businesses to consider business growth and future planning
- Assist business to access web platforms to advertise their business
- Assist in building credibility and a business community.

Since 2022 the legislation has changed and Regional Districts now have the authority to issue business licenses. Staff have been researching methods and options on how to implement a business licensing program and to determine the fee structure that should be applied. The complexity and variations that exist in business licenses indicate that several different approaches can be considered.

In 2025, the Province initiated a Short Term Rental Registry program in June, and the Islands Trust opted into the Short Term Rental Accommodations Act (STRAA) that commenced in November. Any potential combined effects of these two new Provincial initiatives are expected to be realized for the first time during the 2026 summer tourist season. Progressing evaluation of the implementation of a business licensing program in 2027 will enable the effects of these two Provincial initiatives to be considered.

A recent workshop on short terms rentals suggested that the industry is best operated with a system of business licenses that complement zoning and an enforcement program. Currently the Islands Trust is considering an update to the Official Community Plan and Zoning Bylaw that may adjust the permissions of where and how short term rentals can operate.

To determine the best approach to business licenses, some external expertise is recommended. This would include retaining a consultant with expertise to determine the optimal business licensing program that should be implemented. Details of a bylaw that would need to be determined include: the granting or refusal of a license; providing for the effective periods of a license; a tiered fee schedule, conditions that must be met for obtaining, continuing to hold or renewing a license, including the nature and terms of those conditions and who may impose them; providing for the suspension or cancellation of licenses for failing to comply with a term or condition or failing to comply with the business licensing bylaw; and providing for reconsideration or appeals of decisions made with respect to the granting, refusal, suspension or cancellation of business licenses.

It will also be necessary to estimate the staffing requirements including the number of personnel, their roles, and the time commitment involved along with the projected costs needed to successfully operate, monitor, and enforce the program.

Future CRD Board approval will be required to prior to implementing a new service for Business Licensing.

ALTERNATIVES

Alternative 1

That the Salt Spring Island Local Community Commission direct staff to defer consideration of a Business Licensing Feasibility Study, funded through the Salt Spring Island Economic Development Service, until the 2027 Budget Planning process.

Alternative 2

That the Salt Spring Island Local Community Commission direct staff to include \$40,000 in the 2027 Provisional Budget, through the Salt Spring Island Economic Development Service, to fund a Business Licensing Feasibility Study.

Alternative 3

That this report be referred back to staff for additional information.

IMPLICATIONS

Financial Implications

The function of the SSI Economic Development Sustainability Service is to promote, provide information and assist local service agencies with economic development initiatives. Project costs and third-party payments have been fully subscribed in previous years.

The SSI Economic Development Operating Reserve Fund has a projected ending balance of \$18,627 in 2027. Third party contributions would need to be reduced in 2027 or additional funding would need to be requisitioned to support a Business Licensing Feasibility Study.

CONCLUSION

The LCC directed staff to revisit the 2022 analysis of business licensing in response to ongoing challenges related to zoning compliance and the evolving regulatory landscape for short-term rentals. Staff reviewed legislative changes, potential licensing models, operational considerations, and the resource implications of administering a business licensing program. Based on this assessment, staff recommend that the LCC consider commissioning a Business Licensing Feasibility Study to determine the most appropriate approach for Salt Spring Island. If supported, the next step will be to include funding in the 2027 budget cycle so that external expertise can develop detailed program options, staffing requirements, and associated costs.

RECOMMENDATION

That the Salt Spring Island Local Community Commission direct staff to defer consideration of a Business Licensing Feasibility Study, funded through the Salt Spring Island Economic Development Service, until the 2027 Budget Planning process.

Submitted by:	Dan Ovington, BBA Senior Manager, Salt Spring Island Administration
Concurrence:	Stephen Henderson, MBA, P.G.Dip.Eng, BSc, General Manager, Electoral Area Services

ATTACHMENT(S)

- Appendix A: Staff Report – Regulation of Vacation Rentals and Business Licensing, Dated February 9, 2022
- Appendix B: Staff Report - Speculation and Vacancy Tax, Dated July 13, 2022



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**REPORT TO ELECTORAL AREAS COMMITTEE
MEETING OF WEDNESDAY, FEBRUARY 09, 2022**

SUBJECT Regulation of Vacation Rentals on the Southern Gulf Islands and Salt Spring Island

ISSUE SUMMARY

To provide information on measures to restrict or control tourism accommodation, including the power to regulate business through the issuance of business licenses for Salt Spring Island and Southern Gulf Islands by requesting the Province pass enabling regulation through an Order in Council.

BACKGROUND

On July 14, 2021, the Electoral Areas Committee passed the following resolution:

That the Electoral Areas Committee request staff to provide a report outlining the possibility of the Capital Regional District pursuing measures to restrict or control tourism accommodation, including the power to regulate business through the issuance of business licenses for Salt Spring Island and Southern Gulf Islands by requesting the Province pass enabling regulation through an Order in Council.

The Capital Regional District has received a similar request by way of resolutions from the Islands Trust Salt Spring Island Local Trust Committee, North Pender Island Local Trust Committee, South Pender Island Local Trust Committee, and the Galiano Island Local Trust Committee. While Local Trust Committees are the land use authorities for the islands, the LTCs lack the full range of tools for enforcement and administration of vacation rentals that can be utilized by municipalities. Please see the letter from Islands Trust, dated November 9, 2021 and attached as Appendix A.

In addition, in 2019, the Union of B.C. Municipalities (UBCM) and the Province convened a Joint Advisory Group on Short-Term Rentals. In 2021, the advisory group released a report with 13 priorities for action for the Province to consider in order to establish a regulatory framework for the short-term accommodations industry (see Appendix B). Key among the requests for action include greater regulatory tools for local government:

- *Amend the Local Government Act to allow regional districts to implement business licensing, by approval of the regional district board, as a tool to regulate short-term rentals.*
- *Increase the allowable fines that local governments can levy against short-term rental hosts operating out of compliance.*
- *Explore whether provincial bylaw notice adjudicators have sufficient information and awareness of short-term rental issues to understand these offences, preventing undue cancellation of violation notices.*

As discussed in the UBCM report, short-term vacation rentals can be problematic for communities by reducing the available long-term rental housing stock for residents. It can also encourage

buyers to acquire secondary homes in popular tourist destinations, such as the Gulf Islands, by offering a revenue stream to non-resident owners while still allowing them flexibility to access the property for personal use. The introduction of the Provincial Speculation and Vacancy Tax was designed in part to address some of these issues, however, the SSI and the SGI are exempt from the tax.

ALTERNATIVES

Alternative 1:

The Electoral Areas Committee recommends to the Capital Regional District Board:

That the Regulation of Vacation Rentals on the Southern Gulf Islands and Salt Spring Island report be received for information.

Alternative 2:

That the Capital Regional District Board request the Province of British Columbia bring forward an Order in Council to grant the Capital Regional District the authority to regulate business in the Salt Spring Island and Southern Gulf Islands Electoral Areas.

IMPLICATIONS

The regulatory tools available to local governments to regulate vacation rentals in residential zones include zoning bylaws, temporary use permits, and business licensing, all of which can be enforced by ticketing, fines or a court-issued injunction.

Regulation by Land Use Bylaw

On Salt Spring Island and in the Southern Gulf Islands, land use regulation is under the authority of the Islands Trust. Under the *Islands Trust Act*, Local Trust Committees (LTCs) have land use authority to adopt Official Community Plans and zoning regulations to regulate short-term vacation rentals. LTCs can permit or prohibit vacation rentals outright in accordance with zoning requirements within land use bylaws.

A contravention of a land use bylaw can be enforced by issuing a municipal ticket or a bylaw adjudication notice, or in more serious cases, obtaining a statutory injunction order from BC Supreme Court to prevent the continued use of the property in contravention of the bylaw. In cases where the rental is occurring in a secondary suite or guest cottage that is not authorized by zoning, the injunctive order can include the power to dismantle and remove the unauthorized suite at the owner's expense. Many local governments in BC use some or all of these enforcement tools under their land use bylaw to effectively regulate unauthorized vacation rentals.

While land use bylaws can be effective in regulating vacation rentals and are relatively simple to enforce, there are some limitations due to the fact that land use bylaw provisions are typically general and permissive in nature, rather than site-specific. Once a vacation rental use is permitted in a zone, the LTCs no longer have control over how the specific use is carried out at an individual property level. Some LTCs get around this by continuing to prohibit short-term vacation rental uses, but allowing them under temporary use permits and controlling the use on a conditional, case by case basis. Where there is a desire to further regulate how the use is carried out, to

monitor the extent of the use, or to collect data to inform adaptive management of vacation rental use, business licenses may be a more effective regulatory tool.

Regulation by Business Licensing

Under the *Local Government Act*, Regional Districts do not have business licensing authority. Regional Districts are different from municipalities in this respect, as municipalities have authority to regulate business by imposing a system of licenses, permits or approvals under section 15 of the *Community Charter*.

Regional Districts can request business licensing authority from the Province. If granted, it is enabled by an order-in-council or regulatory change. The UBCM request would enable this authority outright through a change to the *Local Government Act* and remove this as a barrier for Regional Districts that want to use business licensing to manage issues such as short-term rentals. However, currently, if the CRD would like business licensing powers, it must first be granted the authority by the Province.

Once granted the authority to regulate business by the Province, the CRD would have to adopt a business licensing bylaw which would then be used to define which categories of business it would regulate and set the conditions and requirements of the licensing regime. Normal provision of a business licensing bylaw would include the following:

- a requirement to obtain an annual permit for a fee (usually \$100-\$150);
- appointment of a License Inspector or Director;
- assignment of powers to the Inspector to set conditions on the issuance or cancellation of licenses and the appeal process for those decisions;
- power to conduct inspections;
- general conditions on the license such as the form, requirement to display, requirements to update information, renewal and transfer;
- specific conditions based on business type, such as home-based, commercial, personal services or inter-municipal.

If CRD were to regulate vacation rentals through business licensing, all vacation rental owners would need to purchase an annual business license issued by the CRD. Owners would need to comply with any of the terms and conditions placed on the license, which may include a requirement for an inspection of the property. Typically a business license would not be issued for any vacation rentals that are not compliant with the applicable zoning bylaws, so only those rental properties that are authorized by zoning would be licensed.

One of the benefits of licensing is that it can provide consumer protection by establishing minimum standards for businesses that are licensed. It also provides the local government a way to track and compile metrics on the number of businesses operating in the region.

Enforcement of License Contraventions

Business licensing would provide another avenue for enforcement against unauthorized vacation rental properties. Fines could be issued to a business that is operating without a license, or is operating in contravention of the terms and conditions of a license. Where a business is not complying with the requirements of a business license, the license can also be revoked by the License Inspector, however, under the *Community Charter* revocation of the license is a decision

that is subject to a right of appeal to the Regional Board. In addition, prior to revoking a license, the License Inspector must observe the rules of procedural fairness and provide the business owner an opportunity to be heard and make submissions before a decision is rendered, similar to what is required when a local government files a Section 57 Notice of Building Contravention on title of a landowner’s property. The administrative law requirements that are triggered by revocation of a business license can make enforcement of a license contravention a more challenging and expensive process than enforcing compliance with a land use bylaw.

Financial Implications of Establishing a Business Licensing Function

A business license function would require new funding from the SGI and SSI electoral area for the administration and overhead of the regulatory service, as well as funding to enable Bylaw Enforcement Officers to enforce the provisions of the business licensing bylaw. A software system, such as Tempest, would be necessary to track and issue licenses, automate the renewal process and generate invoices. Business owners would need access to payment options to pay the annual license fee. Systems currently utilized by CRD Bylaw Enforcement staff could be customized to administer business licenses, however, it would require an estimated 2.0 additional FTEs for administration, operation and enforcement of the new regulatory service, depending upon the scope of the regulation. Some of the costs of the new service could be offset by the revenue generated from collection of the license fees, however, the offset would depend on the number of businesses subject to the licensing requirement. For example, if all business in the SGI and SSI electoral area required annual business licenses, the revenue offset would be greater than if the regulation was limited to vacation rentals. If Islands Trust zoning continued to prohibit vacation rentals, uptake of a business license program would be limited further.

CONCLUSION

Short-term vacation rentals can be regulated by land use bylaws or through business licensing. CRD does not currently have the authority under the *Local Government Act* to regulate business, however, the authority can be granted by the Province by an order-in-council, and enabled by the Board through the adoption of a business licensing bylaw. Establishing a business license function would require new funding be raised from the SGI and SSI electoral areas for increased staffing associated with administration and enforcement of the business license function. It is anticipated that some of the increased costs could be offset by the revenue generated from annual license fees. Staff recommend further analysis on financial impacts would be required prior to implementation.

RECOMMENDATIONS

The Electoral Areas Committee recommends to the Capital Regional District Board:

That the Regulation of Vacation Rentals on the Southern Gulf Islands and Salt Spring Island report be received for information.

Submitted by:	Justine Starke, MCIP, RPP, Manager, SGI Service Delivery, Corporate Services
Concurrence:	Kristen Morley, J.D., General Manager, Corporate Services & Corporate Officer
Concurrence:	Robert Lapham, MCIP, RPP, Chief Administrative Officer

ATTACHMENT(S)

Appendix A: Letter from Islands Trust, dated November 9, 2021

Appendix B: Priorities for Action on Short-Term Vacation Rentals (Report of the Joint UBCM-Province Advisory Group on Short-Term Rentals).



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November 9, 2021

File Number: 12-14-6500-20

Justine Starke
Manager, Southern Gulf Islands Service Delivery
Capital Regional District
Via email

Dear Justine:

Re: Local Trust Committee Business Licensing Resolutions

I am writing to you concerning a number of resolutions recently adopted by local trust committees encouraging the Capital Regional District to explore business licensing. Trustees and residents in the Trust Area have been grappling with the impacts of short term vacation rentals for years, and most LTCs have policies and regulations in place to attempt to mitigate those impacts. However, it has become apparent to many trustees and residents that zoning and other land use regulations are insufficient to manage the impacts of vacation rentals. Consequently, a number of LTCs have adopted resolutions (please see attached) requesting that the CRD consider the implementation of business license regulations within the Salt Spring and Southern Gulf Islands electoral areas for tourist accommodation, specifically for enforcement and administration of vacation rentals.

Sincerely

Robert Kojima,
Regional Planning Manager
Islands Trust

Attachment: Table of Resolutions

Local Trust Committee	Date	Resolution
Galiano Island Local Trust Committee	July 5, 2021	<p>GL-2021-065 It was Moved and Seconded, that the Galiano Island Local Trust Committee requests that the Capital Regional District explore the implementation of business licensing for tourist accommodation and specifically for short term vacation rentals.</p> <p style="text-align: right;"><u>CARRIED</u></p>
Mayne Island Local Trust Committee	June 21, 2021	<p>MA-2021-042 It was Moved and Seconded, that the Mayne Island Local Trust Committee request that the Capital Regional District explore the implementation of business licensing for tourist accommodation and specifically for short term vacation rentals.</p> <p style="text-align: right;"><u>CARRIED</u></p>
North Pender Island Local Trust Committee	June 24, 2021	<p>NP-2021-078 It was Moved and Seconded, WHEREAS the North Pender Island Local Trust Committee is implementing additional policies and zoning to regulate and manage short term vacation rentals on North Pender island, the Local Trust Committee lacks the full range of tools for enforcement and administration of vacation rentals;</p> <p>THEREFORE the North Pender Island Local Trust Committee requests that the Capital Regional District explore the implementation of business licensing for tourist accommodation and specifically for short term vacation rentals.</p> <p style="text-align: right;"><u>CARRIED</u></p>
Salt Spring Island Local Trust Committee	May 25, 2021	<p>2021-108 It was MOVED and SECONDED,</p> <p>Whereas the Salt Spring Island Local Trust Committee wishes to see appropriate regulation and management of short term vacation rentals on Salt Spring Island but lacks the full range of tools for enforcement and administration of vacation rentals;</p> <p>Therefore the Salt Spring Island Local Trust Committee requests that the Capital Regional District explore the implementation of business licensing for tourist accommodation and specifically for short term vacation rentals.</p> <p style="text-align: right;"><u>CARRIED</u></p>
South Pender Island Local Trust Committee	May 7, 2021	<p>SP-2021-044 It was Moved and Seconded, that whereas the South Pender Island Local Trust Committee is implementing additional policies and zoning regulations to regulate and manage short term vacation rentals on South Pender Island, the Local Trust Committee lacks the full range of tools for enforcement and administration of vacation rentals;</p> <p>therefore, the South Pender Local Trust Committee requests that the Capital Regional District explore the implementation of business licensing for tourist accommodation and specifically for short term vacation rentals.</p> <p style="text-align: right;"><u>CARRIED</u></p>

PRIORITIES FOR ACTION ON SHORT-TERM RENTALS

Report of the Joint UBCM-Province Advisory Group on Short-Term Rentals

FINAL REPORT

June 30, 2021

Supported by

Housing Policy Branch

Office of Housing and Construction Standards

Ministry of Attorney General and Minister responsible for Housing

Executive Summary

The Province's Rental Housing Task Force recommended in December 2018 that the Province work with local governments to develop, implement, and enforce short-term rental rules to better protect long-term rental stock (Recommendation #11). In the May 2019 response to the Task Force recommendations, the Province agreed to address this recommendation in 2020 through further consultation with stakeholders and local governments. In fall 2019 the Province and UBCM established a Joint Advisory Group on Short-Term Rentals. The purpose of this group was established as follows:

The Advisory Group will facilitate discussions with local governments about the impacts of STRs and tools for addressing them. Information generated by the Advisory Group will help **inform the Province's consideration of potential policy approaches to STRs**, including possible measures to support local governments interested in taking further actions to address STR impacts.

Housing affordability and availability are topics of utmost concern for all levels of government in British Columbia. The Advisory Group is particularly concerned about impacts of short-term rentals on long-term rental housing. While these impacts are hard to measure with available data set, the diversion of housing units from long-term supply is a significant problem affecting housing in many communities. The Advisory Group's work is informed by the need to take sensible precautionary steps to avoid negative outcomes for British Columbians.

The Advisory Group considered input from experts in various aspects of provincial legislation, research on short-term rental activity and broader rental housing data, and a series of stakeholder organizations. Through the Advisory Group's discovery and discussion process, a series of principles and outcomes were articulated that guided the identification of possible measures for the Province to consider. These principles were: recognition of regional differences, subsidiarity, fairness, future-proofing, and evidence-based policy balanced by precaution. The outcomes address various stakeholder viewpoints and seek to recognize both the opportunities and drawbacks presented by short-term rental platforms.

The priorities and requests to the Province in this report are intended to spark further discussion and exploration of potential policy approaches in the areas of platform accountability or regulation, data sharing, taxation, local government regulatory tools, capacity, and broader efforts to improve data sources and analysis on rental housing.

This Report represents the work done by the Advisory Group to understand the impacts of short-term rentals and suggest priorities and ideas to inform the Province's future work in this area. This report does not indicate formal endorsement by UBCM or the Province of these proposals.

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Background

Short-term rentals are the rental of a home, or room within a home, for a temporary stay (usually fewer than 30 consecutive nights). While vacation rentals and in-home bed-and-breakfasts have been a part of tourism accommodation for decades, the short-term rental industry saw significant growth with the advent of online platforms such as Airbnb and HomeAway (now VRBO).

The broad access and ease of transactions provided by these platforms led to a shift in the frequency of use and types of accommodation being listed for short-term use, with units not previously considered “tourism-oriented” being made available to travellers. The online accommodation bookings industry continues to evolve and grow despite the COVID-19 pandemic reducing worldwide travel, and hosts are now able to offer broader “experiences” and adjacent services via these platforms.

This shifting landscape in the accommodations industry has affected communities differently throughout the province. Impacts causing concern include:

- **Housing Availability:** The use of housing units for travellers has reduced long-term rental housing capacity at a time when housing availability and costs are already under pressure. While many short-term rental hosts use part of their primary residences for hosting, other types of spaces such as basement suites or accessory dwelling units also appear frequently on the platforms. Existing data on vacancy in the primary rental market (purpose-built apartments) shows no consistent correlation with short-term rental listings or bookings activity, but the true impact of short-term rentals is in the secondary market (other housing forms), which is more fluid and difficult to measure. The lack of consistent definition of what constitutes a “permanent dwelling” and limited capacity of local governments to monitor listings makes it nearly impossible to determine the actual scale of diversion from rental housing stock in a statistical sense, but observations by local governments indicate there is a significant unmeasured threat to long-term housing. As 70% of B.C.’s renter households rely on secondary rental market housing, and in some communities up to 100% of rental housing is in the secondary market, there is a strong case for responding to the potential impacts of short-term rentals even in lieu of appropriate data sources.
- **Housing Affordability:** The potential for earning revenue from short-term rental use of properties (whole or in part) often supports higher property prices than local incomes can support. This impacts housing cost in the rental market due to price competition and may be driving up the purchase price of homes in the resale market, as buyers are willing to pay a premium for units (especially condos) with potential for short-term rental use. Data to isolate and attribute this impact is not readily available, but anecdotal evidence appears in numerous B.C. communities.
- **Land Use:** In some cases, previously residential-use properties have been converted to commercial use despite local land use policies. Where short-term rentals represent a full-time business model, these properties are no longer serving their intended purpose as dwellings for local residents. In other communities (especially remote areas), the ease of promoting vacation rentals of properties has attracted tourism for which local governments are not equipped to regulate or support with infrastructure.

- **Public Impacts:** Increasing transient use of properties without oversight by hosts has contributed to noise, parking, garbage, safety, and disruption complaints. In some cases, short-term rental activity has been linked to public health risks via out-of-region visitors contributing to COVID-19 outbreaks.
- **Local Government Capacity:** Between the staff and Council time required to consult, evaluate options, and adopt short-term rental policies, and the licensing and enforcement staff time required to monitor listings and properties, regulating short-term rentals represents a significant (and new) imposition on local government capacity.

Short-term rentals also offer some benefits to communities and travellers:

- **Interim Worker Housing:** Employees arriving in a community for new employment, or for a temporary assignment, may use short-term rental housing while arranging for a permanent residence or to avoid occupying a rental unit only for a short period, freeing that unit up for a long-term residential tenant.
- **Tourism:** Short-term rentals provide some benefits to communities that are seeking to expand their tourism economies as a diversification strategy:
 - Short-term rentals expand tourist accommodation capacity, particularly in places with emerging tourism sectors where traditional lodging businesses have not yet established sufficient capacity.
 - Family travel: short-term rental units may be larger and provide more facilities that support families with children or specific accommodation needs, compared to hotels/motels. This opens up tourism in a community to different demographic segments.
 - Sports/group travel: teams or groups wishing to travel together may find an entire home with several bedrooms a more affordable way to travel for tournaments or events compared to the cost of booking multiple hotel rooms. Kamloops and Burnaby are two examples of communities with significant special event facilities where attendance may exceed local hotel capacity.
- **Economic Activity:** Hosts earn additional income on their short-term rentals (which may or may not be reported on tax returns) and visitors contribute in other ways to local economies through hospitality and experiences in the host community.

The challenge for the Province and local governments is to find a balance in regulating short-term rental activity to enhance the benefits and opportunities presented by the industry while reducing the detrimental effects on housing and neighbourhood livability.

An increasing number of local governments in B.C. have developed policies, or are in the process of doing so, to respond to the new opportunities, challenges, and impacts that short-term rentals bring to their communities. The Union of BC Municipalities (UBCM) identified short-term rentals as an ongoing issue of concern for local governments in 2016. Workshops and resolution discussions on the topic were featured at UBCM conventions in 2016, 2017, and 2018. A UBCM Special Committee on Housing included a series of

recommendations to address short-term rental regulation and taxation in the January 2018 report “*A Home for Everyone: A Housing Strategy for British Columbians*”.

Participating Organizations

The Advisory Group formed in January 2020 with representatives of nine local governments and participants from UBCM and the Ministry of Municipal Affairs and Housing (as it was then), and now also includes the Ministry of Attorney General and Minister responsible for Housing. Communities represented on the group were (in alphabetical order):

- City of Burnaby
- Islands Trust
- City of Kelowna
- City of Nelson
- Regional District of Thompson-Nicola
- Village of Tofino
- City of Vancouver
- City of Victoria
- Resort Municipality of Whistler

Process

The Advisory Group held in-person meetings in February and early March 2020, including presentations and discussions to inform the group’s members about community objectives, housing impacts as measured by available data, and legislative context. The group heard presentations from:

- Housing Policy Branch (Ministry of Municipal Affairs and Housing)
- Residential Tenancy Branch (Ministry of Municipal Affairs and Housing)
- Property Tax and Assessment Branch (Ministry of Municipal Affairs and Housing)
- Tax Policy (Ministry of Finance)

The onset of the COVID-19 pandemic put the Advisory Group’s process on hold during the spring and summer of 2020. Group members shared, via email, updates on the impacts of the pandemic on their communities and observations about how the short-term rental activity in their community changed (or not) while travel was affected by public health orders. Following the fall 2020 election, housing policy moved under the mandate of the Ministry of Attorney General and Minister responsible for Housing. The Advisory Group reconvened in April 2021.

Virtual meetings comprised the second stage of the Advisory Group’s deliberations. In addition to local government representatives sharing the expertise and experiences from their own communities, the Advisory Group received presentations and written submissions from:

- Housing Policy Branch (Ministry of Attorney General and Minister responsible for Housing)

- Tourism Vancouver
- BC Hotel Association
- BC Real Estate Association
- Harvard Business School (on the evolution of short-term rentals and online accommodation platforms)

The Advisory Group participated in a virtual collaboration session on May 12 which captured and delved into numerous themes that had emerged from the presentation and discussions held throughout this process. A draft of this report was provided to government relations personnel from Airbnb and Expedia (owner of the VRBO platform) for comment and feedback to the panel prior to this report being finalized.

Principles

The Advisory Group identified five principles that inform the outcomes and priorities presented in this report.

- **Recognition of Regional Differences:** Economic and housing conditions vary among regions and communities. Any proposed outcomes or actions need to recognize and allow for these differences, including the need to balance needs within a community (e.g. tourism, economic development, housing).
- **Subsidiarity:** Law-making and implementation are often best achieved at a level of government that is most effective and closest to the issues affected. The federal, provincial, and local governments have different but overlapping roles in housing policy and land use planning. Subsidiarity as a guiding principle encourages complementary legislation while accommodating local circumstances.
- **Fairness:** As much as possible and where feasible, all businesses operating in an industry within a given market should be subject to the same restrictions and requirements under the law. Similarly, residents in a community should be subject to the same expectations and have access to the same types of protections or benefits.
- **Future-Proof:** The travel industry was evolving prior to the COVID-19 pandemic, which caused an abrupt and dramatic change to how and why people seek and use accommodation. The online accommodation booking industry is dynamic and any legislation or programs implemented in 2021 or 2022 need to consider the rapid changes and market reach of this platform-based industry. Relying only on local governments to adopt bylaws and pursue enforcement of this industry has already produced a fragmented regulatory landscape.
- **Evidence Based Policy balanced by Precaution:** Outcomes and priorities should be informed by multiple types of evidence, including quantitative data, qualitative research, observations, and experiences of governments in B.C., Canada, and elsewhere. Where the available data or evidence falls short of the reliability necessary for conclusive analysis, governments should exercise caution but also act to prevent likely harms.

Outcomes

Drawing from the perspectives and experience of local government representatives from a diverse range of communities, the Advisory Group identified a series of important outcomes of potential legislation or programs for various stakeholders. These outcomes will be achieved by complementary and collaborative work across orders of government.

- B.C. households seeking rental housing are not excluded from finding and affording housing that meets their needs as a result of suitable units being repurposed or developed specifically for short-term rentals instead of long-term tenancies.
- Local governments are able to set and enforce land use policies that designate residential property primarily for the purpose of providing long-term residences, while allowing ancillary uses that are aligned with community objectives.
- Local governments have sufficient and timely access to short-term rentals data, and capacity to enforce the land use policies and regulatory schemes set in their jurisdiction.
- All operators within the industry are subject to a clear and consistent regulatory structure, with the same level of accountability to B.C. communities.
- Businesses operating accommodation services via online platforms are held accountable for the same safety, labour practices, neighbourhood impacts, and taxes as accommodation providers operating in more traditional business models (e.g. hotels, motels, B&Bs, campgrounds, etc).
- Hosts, travellers, and neighbours are kept safe and have enjoyable experiences (or fewer negative experiences) resulting from short-term rental accommodations.
- Local governments and the Province have improved capability, through data sources and analysis, to understand the interaction between short-term rentals and the housing market.
- The Province continues to monitor and report on trends and impacts from the short-term rental industry to inform and support local governments.

Priorities

The following needs and ideas emerged during the Group's process as the most likely actions to lead to the desired Outcomes, while being informed by and respectful of the Principles described above. The Advisory Group acknowledges these ideas and priorities will likely require further analysis and collaboration to determine feasibility. Numerous other jurisdictions have introduced more stringent legislation and requirements for the short-term rental industry. Actions to address the impact of short-term rentals in British Columbia may carry some risk, but this needs to be balanced against the significant pressures facing rental housing in many communities.

Provincial Platform Regulation and Accountability

Priority: Where local governments have enacted regulatory tools, such as requiring business licenses for the operation of a short-term rental, these policies are only as strong as the capacity of the local government to enforce them. Platforms have a direct business relationship with their hosts which provides a greater opportunity to detect and deter non-compliant activity.

The Province has greater capacity to use legislative authority to regulate all online accommodation platforms offering services within the province. This framework could echo the provincial regulation of other travel or real-estate related industries such as travel agencies, home inspectors, and ride-hailing (e.g. Lyft, Uber, etc.). The parameters of a provincial framework need to be explored further, but the Advisory Group considers there to be many potential inclusions that would significantly address negative impacts of the short-term rental industry:

- Commercial operators (hosts with numerous short-term rental properties possibly listed across platforms and across communities) could be required to register as businesses through the B.C. Corporate Registries.
- While some platforms provide a field where hosts can display their business license or permit information, this could become a mandatory inclusion for all listings in B.C. where local governments have permit or license requirements. There needs to be validation of this information so that hosts are not providing false data simply to get their listing online. The Province could hold platforms accountable through provincial regulation to validate this information with local governments.
- Hosts could be asked to commit to a statutory declaration to the Province, via their platform, that their listing is compliant with provincial and local government requirements.
- Hosts could be held accountable to the province for standards regarding safety/hygiene, insurance, and consumer protection.

Rationale: Regulation of an industry at the provincial level, to the extent where common objectives exist, provides for greater clarity for the industry and efficiency for enforcement. A provincial regulatory framework is more future-proofed than relying on individual local governments to

keep abreast of advances in the technology and business models of online accommodation platforms and then update bylaws or policies in a patchwork form across the province.

Provincial regulation of other industries, such as ride-sharing, travel agencies, payday loans, and home inspections among others, provide standards that are intended to protect all British Columbians from safety and financial hazards that could be common if business activities are left unregulated. This applies to the customers in an industry as well as labour practices.

Requests:

1. Introduce a **provincial regulatory framework**, similar to those in place for ride-sharing and other regulated industries, for platform accountability and information validation for online accommodation platforms and short-term rental hosts.

Data Sharing

Priority: Local governments need data on short-term rentals that allows them to understand STR activity in their community, develop bylaws or policies to support community objectives, and enforce those bylaws or policies. The Province needs data on short-term rentals to understand trends across the province, monitor impacts on the housing market, and enforce tax policy.

Types of data that are needed include property information (address, ownership, unit type, legal tenure), host details (including multiple-property hosts), bookings (frequency of use and income), licensing information (if any), and information on complaints relating to public safety or neighbourhood impacts such as noise or standards of property maintenance.

In addressing this priority, governments need to consider appropriate protection for the personal privacy of short-term rental hosts, as data collected for a business purpose may not be redacted under FOIPPA as personal information. As short-term rental activity indicates potential vacancy of properties, it presents a security and safety threat to hosts if their property information or demographic details are released through a Freedom of Information Request.

Rationale: Current practices require governments to contract with third-party data providers or assign staff to manually scan online accommodation platforms, which are costly and inefficient approaches that may not always yield accurate and complete data. Requiring all participants in the online accommodation industry to adhere to common standards of data-sharing provides fairness in the industry and reduces the burden of tracking property listings across multiple platforms.

Requests:

2. Require all online accommodation platforms to **make data available through a provincial interface** from which local governments can pull information on property listings, hosts, bookings, and complaints in their community.

3. Require online accommodation platforms to **validate business license or permit information** with local governments to avoid false information in listings.

Taxation

Priorities: Undertaking a business activity, regardless of locale, should be subject to consistent taxation according to the law. Taxation provides revenue to governments to financially support (in part) the infrastructure and programs that create tourism opportunities and offset the potential negative impacts of the business activity, such as the pressures placed on local housing markets by short-term rentals. The collection and remittance of taxes does not prevent negative impacts on housing affordability and availability but is part of a coherent and aligned regulatory framework.

Tax Collection and Remittance

The Province regulates that the process by which Provincial Sales Tax (PST) and Municipal and Regional District Tax (MRDT) are collected and remitted as applicable on sales of short-term accommodation provided in B.C., including all accommodation listed on an online accommodation platform. Short-term rental hosts are required to register for the PST and MRDT (if applicable) unless they only list their accommodation on a platform that is registered to collect PST and MRDT.

The Province has negotiated with Airbnb to collect and remit taxes on behalf of hosts, but there are numerous other platforms not participating in these agreements, and current legislation does not allow the Province to require platforms to collect PST and MRDT (only to register voluntarily). All platforms operating in this industry should be subject to the same requirements for short-term rental bookings in the province.

Using Tax Revenues to Address Short-term Rental Impacts

Areas that have the MRDT in place can opt to direct tax revenues from online accommodation providers to housing purposes in their community, but not to the compliance and enforcement of short-term rental policies. Non-MRDT communities have more limited means to raise revenues to offset compliance and enforcement costs. Options to direct PST revenues from short-term rentals to the originating communities would support compliance and enforcement efforts.

The Advisory Group heard from industry stakeholders that the differing rates and coverage of MRDT is challenging for tourism operators and short-term rental hosts; making the MRDT consistent throughout the province could simplify administration and reduce confusion. Revisions to the MRDT could also yield tax revenue from short-term rentals that could support local communities to offset neighbourhood impacts by enabling more personnel to be allocated towards enforcement.

Addressing Commercial Use of Residential Property in Taxation

UBCM has previously endorsed a members' resolution calling for the Province to amend legislation so that properties used for short-term rental accommodation may be eligible for split classification between Class 1 and Class 6 under the Assessment Act. This would be consistent with the split classification of strata accommodation properties and "bed and breakfast" residential properties. The Advisory Group acknowledges the challenges involved in applying classification to short-term rental listings, and in keeping with the principle of fairness, supports a wider use of split classification so that commercial accommodation activities are taxed fairly. Higher property tax rates for commercial properties raise revenue directly for local governments to apply to the regulation and enforcement of the industry.

Rationale: Applying a consistent expectation across the industry to collect tax at the point of booking provides for tax fairness among all accommodation hosts (short-term rentals, traditional B&Bs, hotels, etc). This promotes accurate and complete collection of tax revenues which may be applied towards compliance and enforcement efforts.

Requests:

4. Introduce legislation to **make tax collection at the point of booking a requirement** for online accommodation platforms.
5. **Share PST revenues from short-term rentals with the local governments** affected by the taxed business activity.
6. Investigate further changes to the MRDT to **increase consistency across the province** and expand the uses of tax revenue to offset impacts to housing and neighbourhoods.
7. Explore options to **expand split classification of properties** so that commercial use of property for short-term rental accommodation is reflected in property tax assessments.

Regulatory Tools for Local Governments

Priority: Local governments have a variety of objectives that inform their policies on short-term rentals and need a flexible yet comprehensive suite of regulatory tools to help achieve those objectives. One of the most effective tools for addressing the impact of short-term rentals on housing availability and affordability is to prohibit listings that aren't within a host's principal residence. Additional conditions are used by local governments in response to specific community concerns, including having on-site or on-call property oversight, limiting the number of nights per year, and requiring off-street parking. The resource "Regulating Short-Term Rentals" published by Generation Squeeze provides an excellent reference for local governments seeking to identify options for their jurisdictions.

Some of the regulatory tools in use to implement this requirement include business licensing, temporary use permits, zoning bylaw definitions, and ticketing/fines. Yet not all local governments have access to the same tools, or some of these tools could be improved:

- Regional districts are currently required by the *Local Government Act* to request authority from the Province to issue business licenses. Enabling this authority by default would remove a barrier for regional districts wishing to adopt business licensing bylaws by choice, as a tool to manage short-term rentals and other industries as identified by the regional district. (The Province may also consider configuring the *Local Government Act* so that regional districts could adopt a licensing framework for specific industries instead of having to license all businesses).
- Increasing the allowable fines that can be levied through the Municipal Ticket Information system or Bylaw Enforcement System will enable local governments to apply deterrents to illegal short-term rental activity. Strata corporations are able to levy fines of up to \$1,000 *per day* for contraventions of strata bylaw prohibiting short-term rentals. This is a high fine in the context of a strata corporation, though it may be insufficient in other environments; some jurisdictions outside Canada are levying fines of \$1,000 for a first offence, \$5,000 for a second offence, and \$10,000 for a third offence.
- The Bylaw Enforcement Notice Adjudication process (Ministry of Attorney General) provides an avenue for citizens to dispute tickets; some communities have noted that after pursuing investigation and levying a bylaw notice to a short-term rental host who is not complying with local laws, the Provincial adjudicator may cancel the violation notice.

Rationale: Enabling local governments to use regulatory tools that fit their community's objectives acknowledges regional differences between communities and supports the principle of subsidiarity (placing regulations at the point closest to the resident/business that allows for efficient implementation).

Requests:

8. Amend the *Local Government Act* to **allow regional districts to implement business licensing**, by approval of the regional district board, as a tool to regulate short-term rentals.
9. **Increase the allowable fines** that local governments can levy against short-term rental hosts operating out of compliance.
10. Explore whether provincial bylaw notice adjudicators have sufficient information and awareness of short-term rental issues to understand these offences, **preventing undue cancellation of violation notices**.

Capacity Supports for Local Governments

Priority: Local governments vary widely in their objectives for regulating short-term rentals and the extent or impact of short-term rental activity in their communities. They also vary in size, and organizational capacity to develop, consult on, implement and enforce policies relating to short-term rentals. Building on past collaboration and outreach, the Province and UBCM can continue to jointly support all local governments in learning about, implementing and enforcing short-term rental policies by providing opportunities for knowledge sharing and community-to-community peer support.

A useful model for this is the [BC Ideas Exchange](#), which focuses on local economic development practices and knowledge-sharing activities such as web-based toolkits, webinars and conference workshops. The [“Regulating Short Term Rentals” Toolkit](#) written by Third Space Planning with support from the Federation of Canadian Municipalities and others is an example of the type of content that can be shared with local governments.

Local governments have indicated the value of having knowledgeable people available to consult directly in addition to the plethora of written and online resources. Direct outreach to local governments helps bridge the capacity gap; this model is demonstrated by the Regional Economic Development Managers that support local governments through the Ministry of Forests, Lands, Natural Resource Operations and Rural Development.

Rationale: Capacity for policy development and implementation is a major constraint facing local governments. Simply having the legislative authority to pass bylaws and implement licensing does not mean a local government (especially a small one) has the staff time or expertise to carry out research and consultation prior to policy implementation, to respond to public pressure from short-term rental hosts opposed to policies that limit their business opportunities, or to enforce policies that are passed by Council. The Province and UBCM can act jointly to support capacity development.

Requests:

11. Allocate Provincial resources to collaborate with UBCM on an **outreach program to support local governments** in identifying and implementing policy options that address housing priorities and needs, including short-term rental regulation and enforcement.

Improve Availability of Data on Short-Term Rentals and the Rental Market

Priority: Local governments and the Province need better data on both the availability and cost of housing in the rental market. Rental market data from CMHC pertains predominantly to the primary (purpose-built rental) market, and is only available at an annual frequency, which poses serious challenges and limitations to understanding the impacts of short-term rentals on the rental market. Data on the secondary rental market (i.e. basement suites, rental houses, etc.) is largely non-existent, thus measuring the impacts of short-term rentals more broadly remains an impossible task. Even where data exists, a further challenge comes in

distinguishing rental units that could potentially form permanent housing from properties that are unlikely to be used as permanent housing, even if removed from short-term rental use (e.g. temporary listings, remote vacation properties or residences located in designated tourist accommodation zones).

The Advisory Group is aware of the challenge of establishing data sources on the secondary rental market and raises this as a priority for the Province to work on with CMHC and using municipal data where available.

In addition to improving data on the secondary rental market, the Advisory Group noted that data on short-term rentals are not incorporated into the Housing Needs Reports required for all communities. If data-sharing becomes a requirement for online accommodations providers, this information can be included in Housing Needs Reports to help Councils recognize trends or challenges and adapt policies according to local needs.

Rationale: Through the Advisory Group process it became evident that gaps in data on the rental market made it difficult to measure and compare the impacts of short-term rentals on rental housing availability and cost in communities. Existing rental housing data from Canada Mortgage and Housing Corporation (CMHC) varies in coverage among communities, with data coverage of up to 55% in some larger metropolitan areas, but as little as 10% coverage in smaller communities. By contrast, it is known from Census data that roughly 70% of all renter households in British Columbia occupy rented dwellings in the secondary rental market, yet there are very few reliable data sources available to understand this very large segment of the rental market.

These data gaps confound meaningful discussions of what policies are really needed to address housing affordability across the spectrum of housing. The gaps also increase the risk that local government policies targeting short-term rentals will fail to respond to emerging trends in housing (or developing industries) or provide the necessary housing to meet future demands.

Requests:

12. Allocate Provincial resources and collaborate with the federal government (Statistics Canada and CMHC) and local governments **to improve the collection and analysis of data on secondary rental housing**, particularly as relates to short-term rental impacts.
13. **Expand the Housing Needs Reports data requirements** to include showing data on short-term rental listings and usage, utilizing platform data collected through a provincial regulatory framework.



Making a difference...together

**REPORT TO ELECTORAL AREAS COMMITTEE
MEETING OF WEDNESDAY, JULY 13, 2022**

SUBJECT **Speculation and Vacancy Tax**

ISSUE SUMMARY

To consider the financial impacts of business licenses, and the costs and benefits of the speculation and vacancy tax (SVT) as applied to Salt Spring Island (SSI).

BACKGROUND

At the February 9, 2022 meeting, the Electoral Areas Committee received a report on the regulation of vacation rentals on the Southern Gulf Islands and SSI, attached at Appendix A. At the meeting, the following motion arising was passed:

That staff prepare a report on the financial impacts of business licenses on Salt Spring Island and Southern Gulf Islands, and the costs and benefits of the speculation and vacancy tax as applied to Salt Spring Island.

Both SGI and SSI are currently exempt from the provincial SVT. The report provided information on the regulatory tools available to local governments to regulate vacation rentals in residential zones by way of zoning bylaws, temporary use permits, and business licensing, all of which can be enforced by ticketing, fines, or court-issued injunction.

ALTERNATIVES

Alternative 1:

There is no recommendation. This report is for information only.

Alternative 2:

The Electoral Areas Committee recommends to the Capital Regional District Board: That the Capital Regional District Board request the Province to include Salt Spring Island in the Speculation and Vacancy Tax specified area to address the problem of electoral area rental and housing affordability.

IMPLICATIONS

Speculation and Vacancy Tax

Between 2018 and 2020, the Province collected \$231M in revenue from the SVT and the Capital Regional District accounted for 8% of the revenue.

Regional District	2018	2019	2020	Total	Revenue by RD (%)
Capital	\$4.3	\$7.4	\$7.2	\$18.9	8
Central Okanagan	\$3.5	\$4.7	\$4.6	\$12.8	6
Fraser Valley	\$0.6	\$1.1	\$2.2	\$3.9	2
Metro Vancouver	\$55.7	\$71.8	\$65.5	\$193.0	84
Nanaimo	\$0.6	\$0.8	\$1.1	\$2.5	1
Total	\$64.7	\$85.8	\$80.6	\$231.1	100

There was a decline in revenue in 2020 which was attributed to property owners subject to the tax having sold their properties or changed their behaviour to qualify for an exemption¹.

Property owners for the purpose of SVT are classified as BC Resident, Other Canadian, Satellite Families, Foreign Owner, and Other. Revenue from the classifications are broken down as follows:

Owner Type	2018	2019	2020	Total
BC Resident	\$6.2	\$5.6	\$11.2	\$23
Other Canadian	\$5.5	\$5.2	\$5.7	\$16.4
Foreign Owner	\$25.6	\$34.7	\$25.6	\$85.9
Satellite Families	\$18.6	\$26.2	\$25.6	\$70.4
Other	\$1.4	\$2.7	\$4.9	\$9
Undeclared	\$7.4	\$11.4	\$7.6	\$26.4
Total	\$64.7	\$85.8	\$80.6	\$231.1

The majority of SVT revenue was from foreign owners with 37% and satellite families with 31%, for a combined total of 68%. The SVT revenue from B.C. residents amounted to 10% and other Canadians amounted to 7%. These figures show that non-B.C. residents are paying most of the SVT.¹

All revenue collected from the SVT must be spent on housing affordability initiatives in the regional district where it is collected. Any SVT revenue are to be used to acquire, construct, maintain or renovate housing or shelter, as well as support other housing-related activities. BC Housing is the primary recipient of funds, but also receives other funding to support government's investments in housing affordability. BC Housing expenditures including those that are under construction or in development between 2018 and 2021 are as follows:

Regional District	2018/19	2019/20	2020/21
Capital	\$113.3	\$135.4	\$131.6
Central Okanagan	\$66.3	\$52.2	\$60.5
Fraser Valley	\$58.4	\$85.3	\$68.4
Metro Vancouver	\$647.3	\$594.3	\$686.4
Nanaimo	\$49.3	\$38.6	\$42.1
Total	\$934.6	\$905.8	\$989.0

Source: BC Housing

¹ Ministry of Finance – Speculation and Vacancy Tax Act Review of Act and Regulations (June 2022), p.26-27

Intergovernmental Implications

In February 2022 Members' of the Legislative Assembly for Cowichan Valley, North Saanich and the Islands wrote to the Honourable Selina Robins, Minister of Finance, advocating for the expansion of the Speculation and Vacancy Tax within their respective constituencies. Both articulated the need to address the housing crisis within their respective ridings, noting in particular that, "Salt Spring Island has only 3-7 primary rental units, despite reporting hundreds of short-term vacation rentals"².

The province has received other requests from areas outside the SVT regions that are interested in opting-in to the tax and will be considering as part of the provincial government's upcoming review of the *SVT Act* and regulations with regard to housing affordability.

Financial Implications of the Speculation Tax

The Ministry of Finance is responsible administering the Speculation and Vacancy Tax by undertaking taxpayer contact services, declaration process support, imposing interest on unpaid STV, registering liens on unpaid taxes, etc. There is no cost to the Capital Regional District.

Business Licensing

As previously reported, Regional Districts have not been granted business licensing authority in the *Local Government Act*. Some Regional Districts, including the Central Okanagan Regional Districts, have requested and been granted business licensing authority to regulate vacation rentals, however, the Province must enable the authority by regulation before a regional district can exercise licensing powers. The *Community Charter* gives municipalities the authority to legislate in relation to a number of broadly stated "spheres of jurisdiction". The regulatory authority is found in Section 8(3) to (6): to regulate, prohibit and impose requirements, by bylaw. Licensing under Section 15 of the *Community Charter* provides for a system of licenses. This includes: providing for the granting or refusal of a license; providing for the effective periods of a license; establishing terms and conditions that must be met for obtaining, continuing to hold or renewing a license, including the nature and terms of those conditions and who may impose them; providing for the suspension or cancellation of licenses for failing to comply with a term or condition or failing to comply with the business licensing bylaw; and providing for reconsideration or appeals of decisions made with respect to the granting, refusal, suspension or cancellation of business licenses.

Short-term vacation rentals are currently regulated through the Islands Trust land use bylaw. Once a vacation rental use is permitted Islands Trust no longer has control over how the specific use is carried out at an individual property level other than controlling the use under a temporary use permit or conditional case-by-case basis. It is in these circumstances where business licenses can be an important companion to help with zoning compliance, by allowing only certain types of businesses to operate in certain areas. Like CRD, Islands Trust can seek provincial authority to have business licensing authority as an additional tool to regulate, prohibit and impose requirements in relation to short-term vacation rentals. Coordinated compliance overseen by one jurisdiction is preferable to having a regulatory scheme where CRD regulates vacation rentals by business license and Islands Trust regulates the same properties/owners by zoning.

Currently, the City of Victoria regulates short-term rentals where permitted under the City's zoning regulation to protect availability and affordability of long-term rentals. To operate a short-term rental in Victoria for stays of less than 30 days, an operator must have a short-term rental business

² <https://islandstrust.bc.ca/wp-content/uploads/2021/02/2020-11-26-housing-needs-report-ssi-final.pdf>

license and comply with operating requirements. The City of Victoria can impose a \$500 per day fine for operating without a short-term rental business license. While the fines are significant, the cost of enforcement or collection of fines usually ameliorates any revenue that can be generated by fines.

Financial Implications of Business Licensing Authority

A business license function for Salt Spring Island would require new funding for administration, overhead and a part-time bylaw enforcement officer. There would also be additional legal costs for court proceedings to enforce against businesses operating without a license, or to respond to administrative court challenges where a business license is revoked or suspended. Enforcement proceedings would be necessary to ensure the regulatory authority is upheld and complied with.

Business License Function	Part-time
Business License staff	\$45,500
Administration	\$6,800
Allocations	\$2,300
Subtotal	\$54,600
Vehicle (One-time cost)	\$50,000
	\$159,200
Revenue	
225 businesses @ \$100/licence	(\$22,500)
TOTAL	\$136,700

CONCLUSION

Short-term vacation rentals can be regulated by land use bylaws or through business licensing. CRD does not currently have the authority under the *Local Government Act* to regulate business. Under the *Islands Trust Act*, Local Trust Committees (LTCs) have land use authority to regulate short-term vacation rentals. LTCs can permit or prohibit vacation rentals outright in accordance with zoning requirements within land use bylaws. While land use bylaws can be effective in regulating vacation rentals and are relatively simple to enforce, there are some limitations due to the fact that land use bylaw provisions are typically general and permissive in nature, rather than site-specific. It may be an option for the Islands Trust to explore additional enabling authority to regulate short-term rentals through business licensing where permitted under their land use authority to protect long-term rental and rent affordability challenges, which could then be applied throughout the Trust area.

RECOMMENDATION

There is no recommendation. This report is for information only.

Submitted by:	Karla Campbell MBA, BPA, Senior Manager, Salt Spring Island Electoral Area
Concurrence:	Robert Lapham, MCIP, RPP, Chief Administrative Officer

ATTACHMENT

Appendix A: Regulation of Vacation Rentals on the Southern Gulf Islands and Salt Spring Island



Making a difference...together

**REPORT TO SALT SPRING ISLAND LOCAL COMMUNITY COMMISSION
MEETING OF THURSDAY, FEBRUARY 19, 2026**

SUBJECT **Short-Term Rentals Stakeholder Roundtable Meeting**

ISSUE

To report on the outcomes of the Short-Term Rentals Stakeholder Roundtable meeting on January 15, 2026.

BACKGROUND

The Salt Spring Island (SSI) Local Community Commissions (LCC) strategic plan identifies Economic Sustainability as a strategic priority with an initiative to develop an Integrated Housing Strategy for SSI. As part of the integrated housing strategy, the LCC hosted a roundtable to better understand the impact of Short-Term Rentals (STR), to consider potential actions that may be needed, and to facilitate future consideration of the LCC's role.

On January 15, 2026, the LCC coordinated a STR Roundtable with industry stakeholders on SSI. A similar group last met to discuss the topic on January 16, 2025.

Many of the recommendations from the 2025 meeting were fulfilled. These included the completion of an analysis of STR industry data on SSI, and the Islands Trust opting into the Short-Term Rental Accommodations Act. As well the SSI Chamber of Commerce evaluated the possibility of implementing Business Licensing on SSI.

The participating stakeholder groups primarily represented commercial groups or government agencies from across SSI. A presentation was completed on the draft report on STR Impacts on SSI. Following the presentation the participants were provided time for short presentations, and then a roundtable discussion occurred. A list of the participants and a summary of the discussion is attached (Appendix A).

The information and perspectives from the roundtable will be utilized in the completion of the Integrated Housing Strategy.

Additionally, the next steps that were expressed included the following:

- Clarify and modernize the STR regulating land-use bylaw, keeping it simple and enforceable. Establish a working group (LCC, Islands Trust, industry, and housing) to drive timely progress.
- Consider implementing business licensing after land-use bylaw clarity is established and in conjunction with proactive enforcement.
- Invest in shoulder-season activities and explore new revenue tools (MRDT (2029), ferry levy).

CONCLUSION

A Short-Term Rental Roundtable meeting was held on January 15, 2026, on Salt Spring Island. The outcomes of the roundtable will be utilized in the completion of the Integrated Housing Strategy. The potential role of the Local Community Commission in supporting the next steps is open for consideration.

RECOMMENDATION

There is no recommendation. This report is for information only.

Submitted by:	Dan Ovington, BBA, Senior Manager, Salt Spring Island Administration
Concurrence:	Stephen Henderson, MBA, P.G.Dip.Eng, BSc, General Manager, Electoral Area Services

Appendix A: Outcome Notes from the January 15, 2026 Short-Term Rentals Stakeholder Roundtable Meeting

OUTCOME NOTES FROM THE JANUARY 15, 2026 SHORT TERM RENTALS STAKEHOLDER ROUNDTABLE MEETING

Roundtable started at 1:33pm

Earl Rook offered a territorial Acknowledgement and reviewed the purpose of the meeting.

Purpose - to explore considerations for managing Short-Term Rentals (STR) on Salt Spring Island (SSI).

Roundtable Participants

- Ben Corno – SSI Local Community Commission (LCC)
- Brian Webster – SSI Local Community Commission (LCC)
- Dan Ovington – CRD - SSI Electoral Area Senior Manager
- Earl Rook – SSI Local Community Commission (LCC) Chair
- Eric Swanson- Third Space Planning (Online)
- Francine Carlin – Rural Island Economic Partnership
- Gary Holman – SSI Electoral Area Director
- Jamie Sterling – Southern Gulf Island Tourism Partnership (SGITP)
- Jason Roy-Allen – SSI Chamber of Commerce
- Joseph Schuldhuis- SSI Accommodations Group (Online)
- Kelly Armstrong – Harbour House Hotel (Online)
- Laura Patrick – Island Trust Trustee (Online)
- MacKenzie Williamson – SSI Electoral Area Staff (Recorder)
- Maxine Leichter – Positively Forward (Online)
- Peter Lloyd-Jones – SSI Accommodations Group
- Robert Steinbach – Country Grocer (Online)
- Shelby Samorodny- SSI Accommodations Group (Online)
- Stephen Henderson – CRD General Manager, Electoral Area Services
- Terri Potratz – SSI Accommodations Group

Presentation of Draft Short-Term Rentals Impacts Report – Salt Spring Island:

Presented by the author - Third Space Planning

Summary of Presentation on the Report:

- Based on available data, a total of 448 active STRs on SSI were active at least one day during 2025 on the STR websites.
- About 10% of those listing are SSI Commercial Guest Accommodations that advertise on the websites.
- There are about 239 fixed roof commercial guest accommodation units on SSI.
- Residentially based STR's make up about 48% of the supply of tourist accommodation on SSI.
- During the reference period, STR activity led to the loss of an estimated 150 potential homes. These units are considered '*potentially*' removed from rental long-term housing, based on those property owners potentially being willing to rent to a full-time tenant instead of short-term tenants. With a mention of uncertainty of how many property owners would be willing.

- The existence of STR's on SSI is anticipated to increase monthly rents by about \$100 per month because of a potential reduction in the supply of long-term rental units.
- There are many assumptions considered within the data analysis, however the consultant used industry standards in the evaluation.
- STRs create more tourism employment and related economic opportunity on SSI, however they decrease the supply of long-term housing that is required by the employees. A basic analysis was completed to show the balance. However, the economic impacts of short-term rental on local accommodation and housing markets combine in complicated and complex ways. A comprehensive quantitative analysis of these impacts was beyond the scope of the study and would require laborious collection of certain SSI-specific data.
- Effective STR management requires three components working together:
 - Improved zoning and Official Community Plan land use bylaws
 - A business licensing system
 - Proactive enforcement

Provincial Registration Program

- The registration program has been operating for less than a year at the time of the report being prepared and provides some opportunity for enforcement.
- Provides access to STR registry data, principal residence verification, and the ability to request platform takedowns of unlicensed STR.
- Enforcement capacity remains uncertain.

Islands Trust's opting into the Short-Term Rental Accommodations Act

- This includes the principal residence requirement and took effect November 1, 2025
- This is considered to add new restrictions on top of those already set out in the Land Use Bylaw, the main effect of opting in is gaining access to additional provincial assistance with enforcement.
- Enforcement capacity remains uncertain

Housing impacts

- The precise number of STR units that could return to long-term use is difficult to forecast
- The increasing restrictions that have occurred push towards greater housing protection

Participants Presentations:

Chamber of Commerce

- STR have minimal impact on housing and bring major economic benefits
- Zoning bylaw needs update to be clearer to support compliance
- Supports proactive enforcement and business licensing

Harbour House Hotel

- Some short-term rentals are shifting into long-term housing for staff
- Concern that some commercial accommodators are not properly represented in local groups
 - SSI Accommodation Group noted there had been commercial representation prior to COVID-19 and that these groups are voluntary if they would like to join

Southern Gulf Island Tourism Partnership (SGITP)

- SGITP confirmed all Municipal and Regional District Tax (MRDT) collecting businesses have a voting stake in SGITP's governance
- MRDT revenue is supporting an affordable housing coordinator and the Rural Housing Program
- Protecting the long-term sustainability of SSI tourism economy by managing STR so they don't undermine housing or resident quality of life, support clearer bylaws, licensing, and proactive enforcement.
- Advocate for shifting visitor demand away from peak season and towards shoulder/off-seasons—potentially capping summer STR operations—resident surveys show concern about too many visitors in June–August.
- Redistribute tourism seasonally to support businesses, and maintain resident satisfaction

SSI Accommodation Group

- STR policy must be based on accurate, locally grounded data
- Many STR operators are local families and restricting STRs risks displacing existing residents, supports young families, accelerates gentrification rather than solving affordability.
- Desires balanced regulation that supports both housing and small-scale tourism
- STR's provide employment income to principal home operators that enable affordable and/or attainable housing for many residents.

Rural Economic Partnership

- The business-licensing discussion has focused too narrowly on short-term rentals, even though many types of businesses-commercial, home-based, contractors, nonprofits, and others
- Advocating a comprehensive licensing system as accountability tool with data, public safety, and informed decision-making

Roundtable Considerations:

a. Local and Island-wide Impact and Contribution of STR

- STR provide major economic support, including ~50% of MRDT revenue.
- Summer visitors sustain many local businesses and amenities.
- STR generally earn more than long-term rentals, and many STR units may not convert to long-term housing.
- Reducing STR too much could harm the local economy.

b. Regulatory Options

- Broad agreement to clarify the STR land use bylaw first
- Introduce business licensing only after bylaw clarity, paired with enforcement and land-use updates.
- Focus on spreading tourism across the year rather than reducing STR numbers.
- Explore revenue tools (MRDT increase, ferry levy) but recognize they require long timelines.

c. CRD and Island Trust Role

- Islands Trust to lead the modernization of STR regulating land-use bylaws
- Needs to be coordinated with provincial initiatives.

- Support long-term data collection and carrying-capacity analysis.
- Integrate STR policy into broader housing and economic strategies.
- Invest in infrastructure, activities (e.g., trails) that benefits both residents and year-round tourism to support the off-peak tourist season.

d. Other Agencies/ Organizations

- Tourism Partnership provides data, marketing, and manages MRDT funds (including financial support for affordable housing initiatives).
- Chamber supports shoulder-season development and the ferry-levy proposal.
- Industry operators stress the need for simple, enforceable rules and involvement in bylaw reform.
- Housing groups emphasize incentives (not penalties) to increase long-term rental supply.

Suggested Next Steps:

- Clarify and modernize the land use bylaws that regulate STR's, keeping it simple and enforceable. Establish a working group (LCC, Trust, industry, housing) to drive timely progress.
- Consider implementing business licensing after land-use bylaw clarity is established and in conjunction with proactive enforcement.
- Invest in shoulder-season activities and explore new revenue tools (MRDT (2029), ferry levy).

Roundtable ended at 3:38pm



Making a difference...together

REPORT TO SALT SPRING ISLAND LOCAL COMMUNITY COMMISSION MEETING OF THURSDAY, FEBRUARY 19, 2026

SUBJECT **Overview of Facility Agreements, Major Capital Initiatives and Required Management Resources**

ISSUE SUMMARY

To review the necessary background information for facility leases, major capital projects, and related management needs to support future discussions on potential service expansion.

BACKGROUND

The Salt Spring Island Local (SSI) Community Commission (LCC) has directed staff to provide an overview of several core components of its service delivery and asset management responsibilities. The Commission seeks a comprehensive discussion of current leases and related agreements for facilities and properties owned by or leased to the LCC, as well as an overview of major capital projects that are planned in the next five years or under consideration. In addition, the Commission has requested information on the staffing and resource requirements necessary to effectively manage these facilities, properties, and capital initiatives. This report provides background information and outlines next steps should the LCC wish to further the discussion.

The LCC maintains a range of agreements governing the use and management of its facilities and properties, primarily within the SSI Parks and Recreation Service. These agreements include leases, licenses, Licenses of Occupation (LoC), crown grants, and foreshore leases, each of which provides different forms of tenure and authority for occupying or using land (Appendix A).

Agreement Types:

- Lease - A long-term, legally binding agreement granting exclusive possession of land or a facility for a defined period, typically in exchange for rent.
- License - A short-term or flexible permission to use land or a facility without granting exclusive possession; the owner retains full control.
- License of Occupation (LoC) - A provincial tenure that allows occupation of land for a specific purpose but does not confer ownership or long-term security.
- Crown grant - A transfer of Crown land into private or local government ownership, usually permanent and registered as title.
- Foreshore lease - A provincial tenure allowing the use of the foreshore typically for docks, waterfront structures, or marine access.

The LCC currently holds delegated authority for 12 services (previously 15 prior to the PARC budget consolidation), most of which are supported by five-year capital and asset management plans. Facilities and equipment are routinely evaluated to identify required capital upgrades and replacement projects, ensuring that emerging needs are incorporated into these plans. In addition to routine lifecycle replacement, opportunities to improve building efficiency, accommodate service expansion and address aging infrastructure generate further projects that staff recommend for inclusion. Major capital initiatives with an estimated value exceeding \$100,000 have been identified for LCC review (Appendix B).

In addition to the 12 services delegated to the LCC, the SSI Administration Department is also responsible for Stormwater Quality Management, the operation of two wastewater treatment plants, and the management of five water utilities, bringing the total number of services supported to 21. Existing staff resources are distributed across all of these service areas, requiring staff to continually shift priorities to respond to emergencies, maintain uninterrupted service levels, and adapt quickly when new operational needs or opportunities arise. This ever-changing environment places increasing pressure on available resources and highlights the importance of ongoing assessment of staffing capacity to ensure sustainable service delivery.

Current staffing levels supporting SSI CRD services, including LCC services total **19.23 Full-Time Equivalent (FTE)** positions. A full-time employee (1.0 FTE) is based on a 35-hour work week, while Regular Part-Time (RPT) employees are assigned an FTE value proportional to their scheduled hours (e.g., an employee working 17.5 hours per week is counted as 0.5 FTE).

In addition to full-time and regular part-time positions, the LCC relies on auxiliary staff to provide coverage during vacations, sick leave, and to support drop-in or registered programs that do not require permanent staffing. However, dependence on auxiliary employees has become increasingly difficult due to the limited local hiring pool on Salt Spring Island and the challenge of offering consistent or predictable hours, which affects recruitment and retention.

To determine the resources required to efficiently and effectively manage these services a consultant should be retained to assess current staffing structure, capacity and whether staffing aligns with current service demands.

At the November 20, 2025 meeting of the SSI LCC the following motion was passed.

“That the Salt Spring Island Local Community Commission (LCC) requests that staff organize a special meeting to discuss:

- Leases and other arrangements for facilities and properties owned by or leased to the LCC.*
- Major capital projects currently planned and/or contemplated relating to LCC services.*
- The resources required to efficiently and effectively manage these facilities and properties.”*

ALTERNATIVES

Alternative 1

That the Salt Spring Island Local Community Commission accept this report for information only.

Alternative 2

That the Salt Spring Island Local Community Commission direct staff to report back on the costs and potential funding options for retaining an independent consultant to evaluate the current staffing structure, capacity, and alignment with existing service demands to determine if there is available capacity to support existing services or a potential service expansion.

Alternative 3 (if needed)

That the Salt Spring Island Local Community Commission refers the report back to staff for additional information.

IMPLICATIONS

Service Delivery Implications

The CRD's Salt Spring Island Administration Department's responsibility for multiple service areas each with unique leases, licenses and agreements requires adequate staffing and resource planning to maintain uninterrupted service levels.

Ongoing strain on staff capacity, combined with challenges in recruiting and retaining auxiliary workers, may impact the community's experience of service reliability. A structured assessment of staffing needs can help ensure that services remain dependable and that the public maintains confidence in local governance.

In addition to the planned capital projects and the commitments outlined through existing agreements, staff are also managing several significant initiatives that are not currently reflected in the formal workplan. These include the proposed repurposing of the Ganges Fire Hall and the former Phoenix Elementary School site, both of which require detailed assessment, community engagement, and coordination with partner agencies. Staff are also advancing conceptual and planning work for the Ganges Harbourwalk, a complex, multi-stakeholder waterfront improvement initiative. Additionally, work is underway to plan for the expansion of the Salt Spring Island Transit Service. Multiple active transportation projects such as the Salish Sea Trail Route and other roadside pathway improvements are underway, each involving ongoing design, permitting, and collaboration with external organizations. Collectively, these initiatives represent a substantial additional workload beyond the scope of existing capital planning.

Social Implications

Parks, recreation facilities, and community programs are essential social infrastructure that foster physical activity, social connection, and overall community wellbeing. Maintaining up-to-date leases, licenses, and tenure arrangements helps ensure stable and equitable access to these shared spaces and services. When facility tenure is clear and secure, programs can operate consistently, minimizing service interruptions that tend to disproportionately affect vulnerable residents, including youth, seniors, and low-income households who depend on accessible, community-based recreation opportunities.

CONCLUSION

This report provides the Salt Spring Island Local Community Commission with an overview of current facility agreements, major capital initiatives, and staffing considerations that influence the delivery of its services. The information presented highlights the complexity of managing multiple assets and service areas, as well as the growing pressures on existing staff resources. A comprehensive review of staffing capacity and organizational structure would support informed decision-making regarding future service levels and potential expansion.

RECOMMENDATION

That the Salt Spring Island Local Community Commission accept this report for information only.

Submitted by:	Dan Ovington, BBA, Senior Manager, Salt Spring Island Administration
Concurrence:	Stephen Henderson, MBA, P.G.Dip.Eng, BSc, General Manager, Electoral Area Services

ATTACHMENT(S)

- Appendix A: Leases and Other Arrangements for LCC Facilities and Properties
- Appendix B: Major capital projects > 250k currently planned relating to LCC services

Leases and Other Arrangements for LCC Facilities and Properties

Agreement	Parties	Term	Amount (+/-)
SIMS Lease	SD64-CRD	5 yr. exp. July 2028	\$70,000.00 annually
SIMS Emergency Services Lease	CRD-CRD ES	5 yr. exp. Jun 2027	-\$1,021.00
SIMS Vaccine Clinic	CRD – Island Health	3 mnth (anticipated for 2026)	-\$8,730.00
Phoenix License	SD64-CRD	5 yr. exp. Dec 2029	\$18,000.00 annually + \$6,000.00 to ORF
Phoenix Sub License	CRD- Chuan	1 yr. exp. Aug 2026	-\$6,000
Hydrofield License	SD64 - CRD	5 yr. exp. Jan 2029	\$10.00
SD 64 Joint Use Agreement	CRD-SD64	5 yr. exp. Feb 2026	N/A
Kanaka Skate Park	SD64-CRD	5 yr. exp. Aug 2030	\$10
Rainbow Day Care License	CRD-Gulf Island Early LS	5 yr. exp. Dec 2026	-\$3,600
Community Gardens LoC	CRD-Transitions	5 yr. exp. Mar 2027	\$1.00
Mouats Park Crown Grant	Province - CRD	Transferred 2001	
Mouat Riding Ring Lease	CRD-GIHA	2 yr. exp. Aug 2026	\$10.00
Centennial Park Crown Grant	Province - CRD	Transferred 1992	
Saturday Market LoC	CRD- Saturday Market Society	5 yr. exp. Dec 2029	-\$16,266.00
Centennial Foreshore lease (boardwalk)	MFNR-CRD	30 yr. exp. Jul 2051	
Centennial Park Parking lot Ingress and egress agreement	CRD-Bay Ventures	1986 – registered on title	\$10.00
Fernwood Dock LoC	MFNR -CRD	Transferred 2003	
Rotary Dock Foreshore Lease	MFNR-CRD	30 yr. exp. Jul 2044	\$1.00
Rotary Propane Tank	CRD- Mouats Trading Ltd.	Lease expired 2021	\$1.00
Seacan License	CRD- Soccer	5 yr. exp. Jun 2029	-\$70.50 annually
Seacan License	CRD- Swim Club	5 yr. exp. Jun 2029	-\$70.50 annually
Seacan License	CRD- Baseball x 2	5 yr. exp. Jun 2029	-\$141.00 annually
Fulford Ballpark Lease	Akerman – CRD	1 yr. exp. Jan 2027	\$25,525.00 annually
Fulford Tennis Court	SSI Fire – CRD	10 yr. exp. Dec 2030	\$1.00
Manson Road	MOTT - CRD	Annual renewal	\$1,050.00
Manson Rd. Sub lease to Treehouse Patio	CRD - Treehouse	5 yr. exp. Jan 2027	\$4,483.00 annually
ArtSpring	CRD-Artspring	10 yr. exp. Mar 2031	-\$10.00
Hudson Boat Ramp LoC	MFNR-CRD	10 yr. exp. Feb 2029	
Drummond Park LoC	Drummond Parks CS - CRD	5 yr. exp. Aug 2026	\$10.00
Ganges Meadow LoC	Pastoral Charge - CRD	5 yr. exp. Mar 2030	\$10.00
Portlock Office – Bylaw	CRD-CRD PS		
SSI Library	CRD- SSI Library Association	15 yr. exp. Mar 2039	N/A
Composting Facility Lands LoC	Farmland Trust - CRD	15 yr. exp. Mar 2039	\$33,000.00 onetime Rd. Improvements
Composting Facility Contribution Agreement	CRD- Abattoir	15 yr. exp. Mar 2039	\$22,375.00 budgeted for potential deficit

Major capital projects > 250k currently planned relating to LCC services

Service	Project	Year	Budget
1.459 Parks & Rec	26-09 Rainbow Recreation Building Envelope Renewal Project	2026	\$1,800,000
1.459 Parks & Rec	20-10 Hydrofield Ballfield Replacement Project	2026	\$700,000
1.459 Parks & Rec	20-14 Parks Maintenance Facility (Kanaka)	2026	\$655,000
1.459 Parks & Rec	25-08 SIMS Roof Replacement (not currently funded)	2026	\$500,000
1.459 Parks & Rec	26-13 SIMS Energy Upgrades (not currently funded)	2026	\$500,000
1.459 Parks & Rec	24-05 Portlock Shed and Equipment Replacement	2026	\$371,046
1.459 Parks & Rec	26-15 Parkland Acquisition	2026	\$250,000
1.23B Comm Transportation	29-01 Drake Road Pathway Construction	2027	\$500,000
1.23B Comm Transportation	26-01 Ganges Roadside Pathway Construction	2026	\$750,000
1.23B Comm Transportation	26-04 Ganges Crosswalks	2026- 2030	\$475,000
1.23B Comm Transportation	26-05 Salish Sea Trail Connections	2026- 2030	\$2,000,000
1.23B Comm Transportation	29-01 Drake Road Pathway Construction	2027	\$500,000